

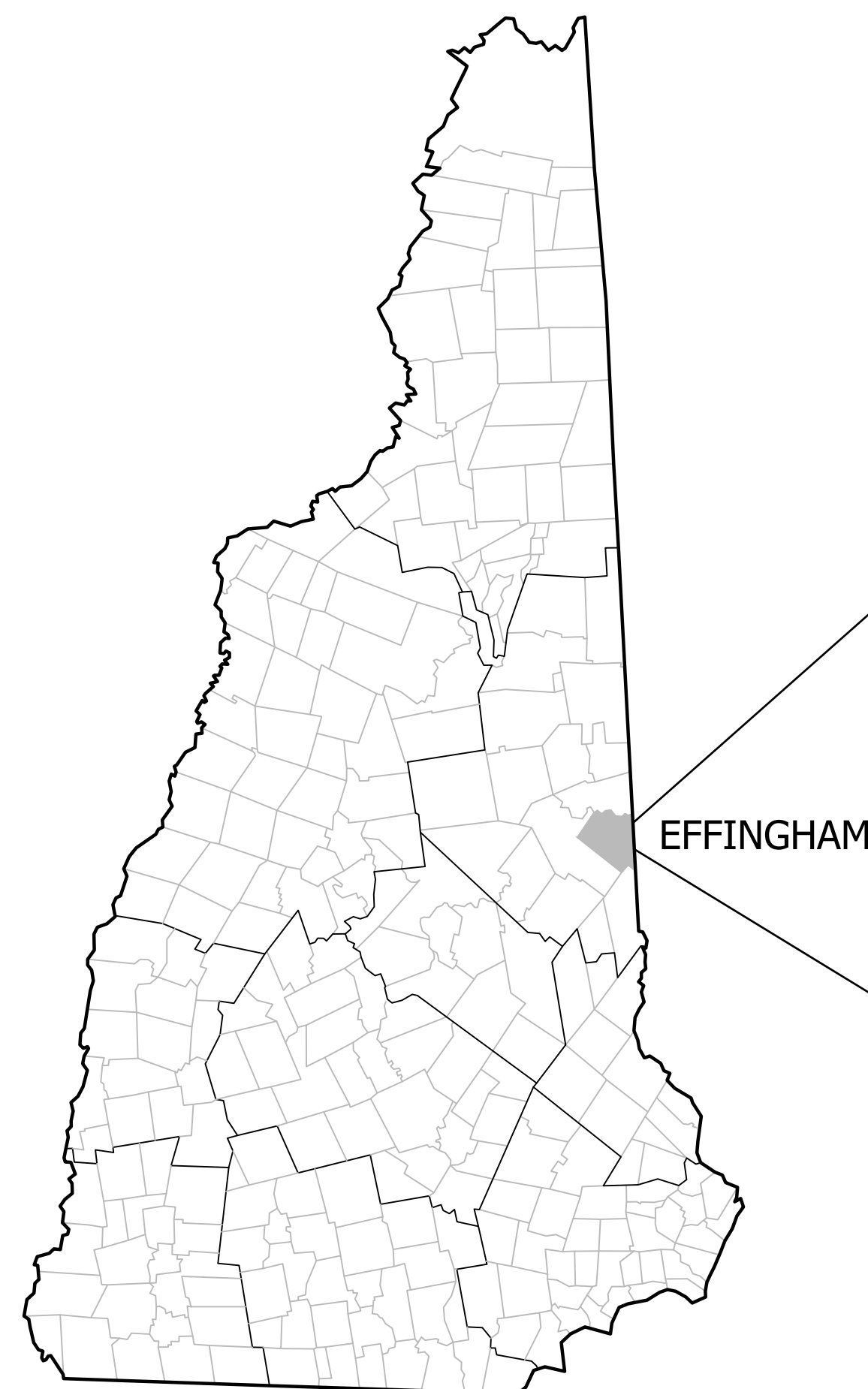
# MEENA LLC

## 41 ROUTE 25

### TAX MAP 401 LOT 5

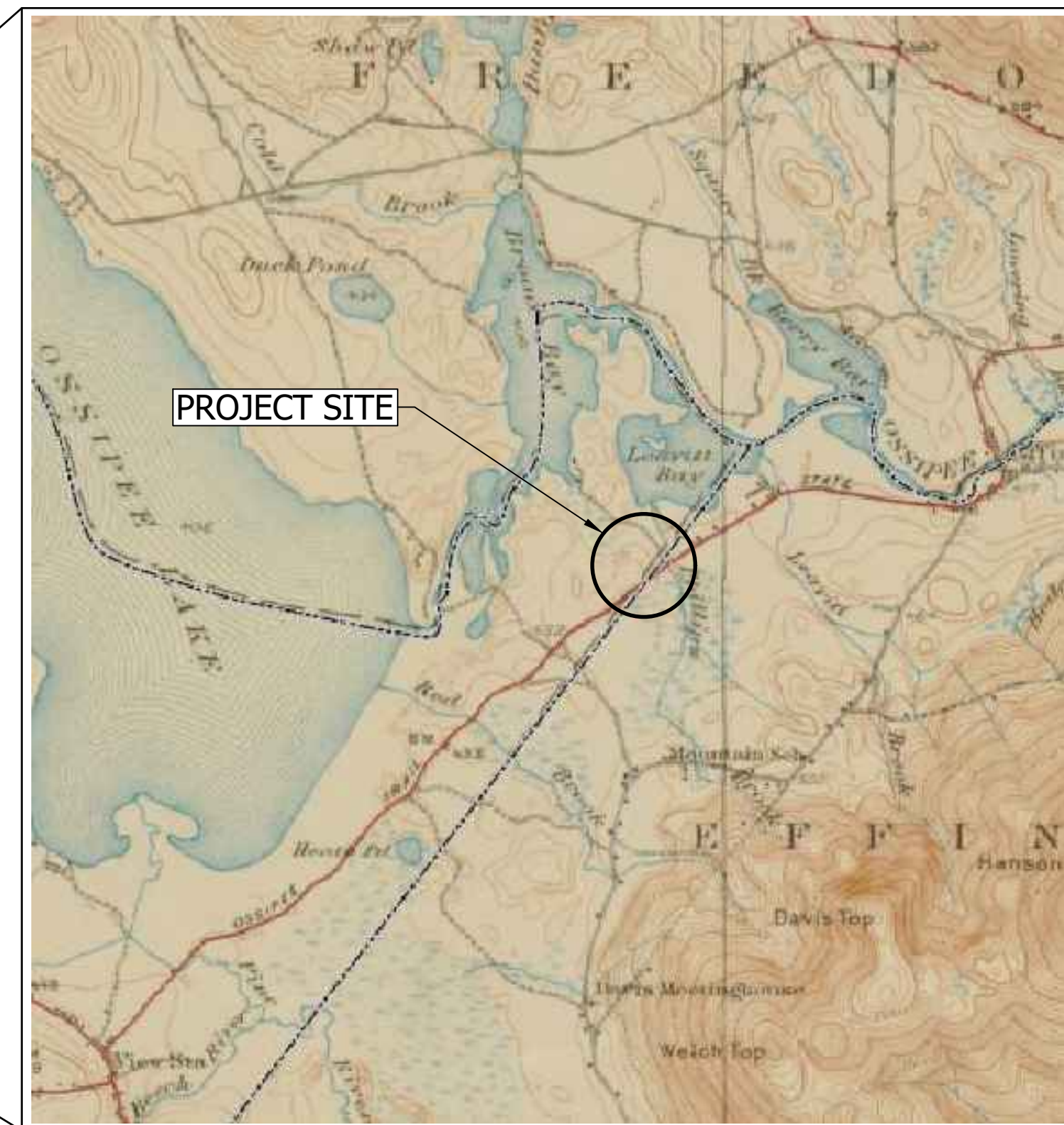
EFFINGHAM, NEW HAMPSHIRE

JULY, 2022  
REVISED DECEMBER 2023



NEW HAMPSHIRE  
SHEET INDEX:

	COVER
DWG 21-27	BOUNDARY SURVEY PLAN
E1.00	EXISTING CONDITIONS PLAN
C1.01	SITE PLAN
SMP1.01	STORMWATER MANAGEMENT PLAN
SMP1.02	STORMWATER MANAGEMENT DETAILS
SMP1.03	BIORETENTION BASIN DETAILS



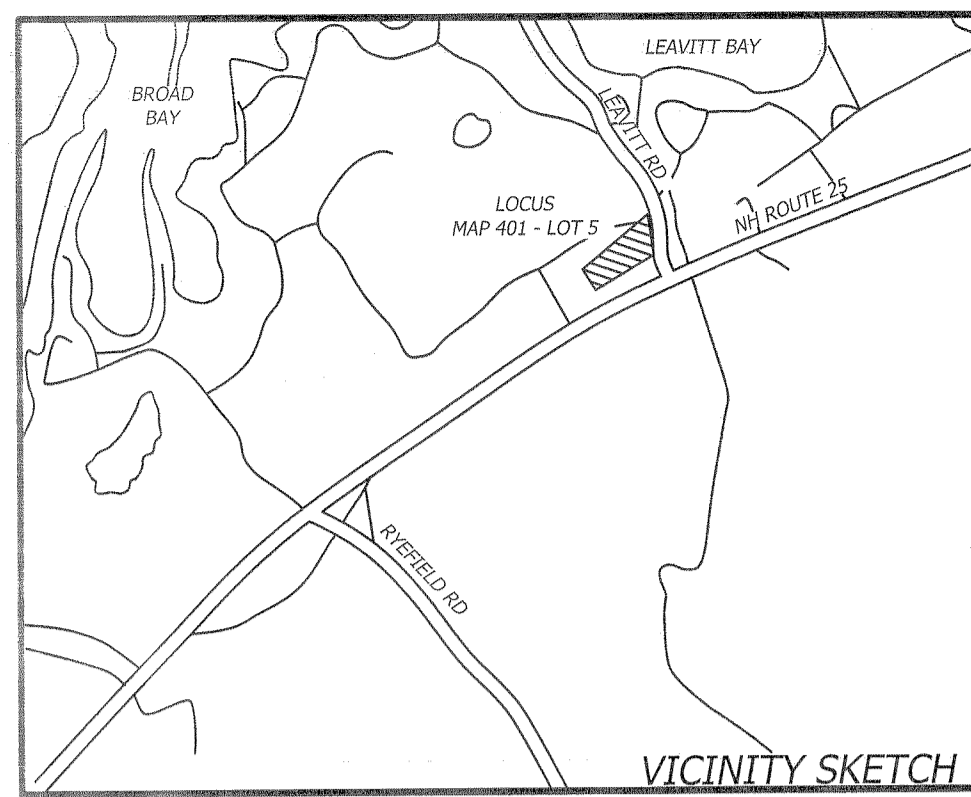
LOCATION PLAN

OWNER:  
MEENA, LLC  
41 NH ROUTE 25  
EFFINGHAM NH 03882

ENGINEER & SURVEYOR:

**horizons**  
*Engineering*

34 SCHOOL STREET  
LITTLETON, NH 03561  
(603) 444-4111



**LEGEND**

- ABUTTOR LOT BOUNDARY
- SUBJECT LOT BOUNDARY
- PAVEMENT
- GRAVEL
- TREELINE
- OVERHEAD UTILITY WIRE
- UTILITY POLE
- IRON PIPE OR REBAR FOUND
- STONE BOUND FOUND

**GENERAL NOTES**

1. OWNER OF RECORD  
MEENA, LLC  
41 US ROUTE 25  
EFFINGHAM, NH 03882  
BOOK 3570 PAGE 955
2. DEED REFERENCES:  
A. "WARRANTY DEED FROM BFM REALTY, LLC TO MEENA, LLC." DATED FEBRUARY 24, 2021. RECORDED FEBRUARY 25, 2021 AT THE CARROLL COUNTY REGISTRY OF DEEDS BOOK 3570 PAGE 955.
3. PLAN REFERENCES:  
A. "PROPERTY OF DY-NO-MITE VARIETY STORE, LTD, EFFINGHAM, NEW HAMPSHIRE" DATED SEPTEMBER 6, 1991. SURVEYED BY THADDEUS THORNE-SURVEYS, INC. DWG NO. 91-55. PLAN NOT RECORDED.  
B. "PROPERTY OF MRS. KATHERINE B. GRIFFIN, EFFINGHAM, N.H." DATED JULY 1975. SURVEYED BY STEPHEN H. BOOMER. RECORDED AT THE CARROLL COUNTY REGISTRY OF DEEDS, DEED BOOK 619, PAGE 331.  
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D. "'BLUEBERRY ESTATES', PLAN OF LAND IN OSSISPEE, N.H., BELONGING TO NORTHERN LAND TRADERS INC." DATED APRIL 28, 1980. SURVEYED BY NORTH COUNTRY SURVEYORS. RECORDED AT THE CARROLL COUNTY REGISTRY OF DEEDS, PLAN BOOK 52, PAGE 61.  
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4. THE BEARINGS SHOWN HEREON REFER TO MAGNETIC NORTH PER PLAN REFERENCE "A".
5. RIGHT OF WAY EASEMENT IN FAVOR OF NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY DATED AUGUST 15, 1969 AND RECORDED IN THE CARROLL COUNTY REGISTRY OF DEEDS AT BOOK 585, PAGE 494.
6. THE RIGHT OF WAY FOR LEAVITT ROAD IS BASED ON PLAN REFERENCE "A" AND "C". NO LAYOUT WAS FOUND ON RECORD. THE RIGHT OF WAY IS AN ASSUMED WIDTH OF 3 RODS OR 49.5 FEET.
7. IN 1996, THE STATE OF NEW HAMPSHIRE DEED DY-NO-MITE VARIETY STORE, LTD A "POINT OF ACCESS DEED" RECORDED AT THE CARROLL COUNTY REGISTRY OF DEEDS IN BOOK 1661, PAGE 839.
8. THIS PLAN IS BASED ON A FIELD SURVEY COMPLETED IN OCTOBER OF 2021 WITH A LEICA TC12 ROBOTIC TOTAL STATION.
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13. THE BOUNDARIES AS DEPICTED HEREON WERE RETRACED SUBSTANTIALLY BASED ON MONUMENTATION FOUND IN THE FIELD AND ON REFERENCE PLANS.
14. THE WORD "CERTIFY" OR "CERTIFICATION" AS SHOWN AND USED HEREON MEANS COMPLIANCE WITH APPLICABLE LAND SURVEY LAWS AND RULES AND AN EXPRESSION OF PROFESSIONAL OPINION BASED ON THE FACTS OF THE SURVEY, PRINCIPLES OF BOUNDARY RETRACEMENT AND LOCAL STANDARD OF CARE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

N/E  
MICHAEL & DEBORAH LAVOIE  
2 RENDLE ROAD  
4709 E. PARADISE LANE  
PHOENIX, AZ 85032  
BOOK 1761 PAGE 534  
OSSISPEE ASSESSORS MAP 33 LOT 42

N/E  
WILLIAM & BARBARA BARTOSWICZ  
1 BLUEBERRY RD  
79 MAIN ST  
CENTER OSSISPEE, NH 03814  
BOOK 3547 PAGE 931  
OSSISPEE ASSESSORS MAP 33 LOT 2

N/E  
MEENA, LLC  
41 NH ROUTE 25  
PO BOX 2262  
NORTH CONWAY, NH 03860  
BOOK 3570 PAGE 955  
EFFINGHAM ASSESSORS MAP 401 LOT 5

N/E  
ROBERT L. CRAIG  
3 BLUEBERRY RD  
CENTER OSSISPEE, NH 03814  
BOOK 2927 PAGE 763  
OSSISPEE ASSESSORS MAP 48 LOT 1

N/E  
JUSTIN A. PETERS & CARLA WILKINSON  
LEAVITT RD  
275 SACO RD  
STANDISH, ME 04084  
BOOK 3606 PAGE 725  
EFFINGHAM ASSESSORS MAP 401 LOT 6

N/E  
RICHARD M. & TAMMY S. MCPHERSON  
3 BLUEBERRY RD  
CENTER OSSISPEE, NH 03814  
BOOK 3161 PAGE 743  
OSSISPEE ASSESSORS MAP 47 LOT 41

N/E  
TOWN OF EFFINGHAM  
NH ROUTE 25  
68 SCHOOL ST  
EFFINGHAM, NH 03882  
BOOK 3333 PAGE 906  
EFFINGHAM ASSESSORS MAP 401 LOT 9

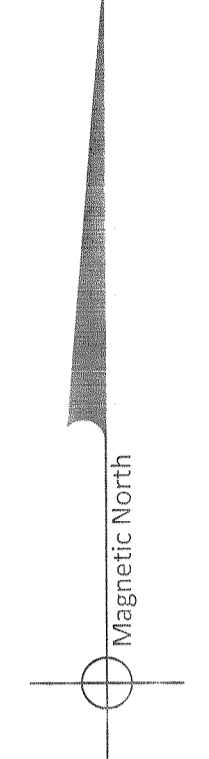
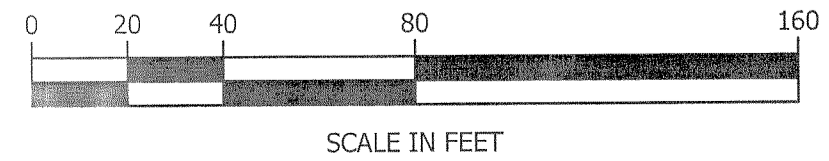
N/E  
RICHARD T. & MARY A. GIGLIO  
35 NH ROUTE 25  
41 WEONA DR.  
FREEDOM, NH 03836  
BOOK 2927 PAGE 763  
EFFINGHAM ASSESSORS MAP 406 LOT 80

N/E  
ROGER D. & JOY L. RUTTER  
2 NORWAY RD  
CENTER OSSISPEE, NH 03814  
BOOK 2383 PAGE 99  
OSSISPEE ASSESSORS MAP 47 LOT 43

N/E  
MICHAEL D. & LYNETTE N. KAICHEN  
52 NH ROUTE 25  
PO BOX 178  
EFFINGHAM, NH 03882  
BOOK 3339 PAGE 909  
EFFINGHAM ASSESSORS MAP 401 LOT 4.1

N/E  
ERIN & AMY HARTLEY  
773 GREEN MOUNTAIN RD  
PO BOX 130  
CHOCORUA, NH 03817  
BOOK 3516 PAGE 222  
EFFINGHAM ASSESSORS MAP 406 LOT 75

2"x24" IRON PIPE  
YELLOW  
5"x8"x22" GRANITE BOUND  
TOWN LINE



OSSISPEE  
EFFINGHAM

OSSISPEE  
EFFINGHAM

OSSISPEE  
EFFINGHAM

NH ROUTE 25

LEAVITT RD

TRANSFORMER PAD  
PSNH 3/114/908  
NET 1/147

PSNH 3/114/5  
NET 1/146

5'x5'x6" NH HIGHWAY BOUND

5'x5'x8" NH HIGHWAY BOUND

1" REBAR  
8" BELOW GRADE

WOODED

APARTMENTS

GAS STATION  
CONVENIENCE STORE

CANOPY  
GAS PUMPS

ANGLE IRON  
(NOT HELD)

POINT IN PAVEMENT  
BELOW GRADE

**CERTIFICATION**

I CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR BY THOSE UNDER MY DIRECT AND IMMEDIATE SUPERVISION.  
I ALSO CERTIFY THAT THIS SURVEY CONFORMS TO THE NHLSA MINIMUM STANDARDS OF PRACTICE FOR THE SURVEY OF REAL PROPERTY.  
I HEREBY CERTIFY THAT THIS PLAN IS BASED ON A TOTAL STATION AND GNSS SURVEY AND IS CLASSIFIED RURAL.

DATE OF PRINT  
OCTOBER 20 2021  
HORIZONS ENGINEERING

DATE 10-20-2021

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Engineering  
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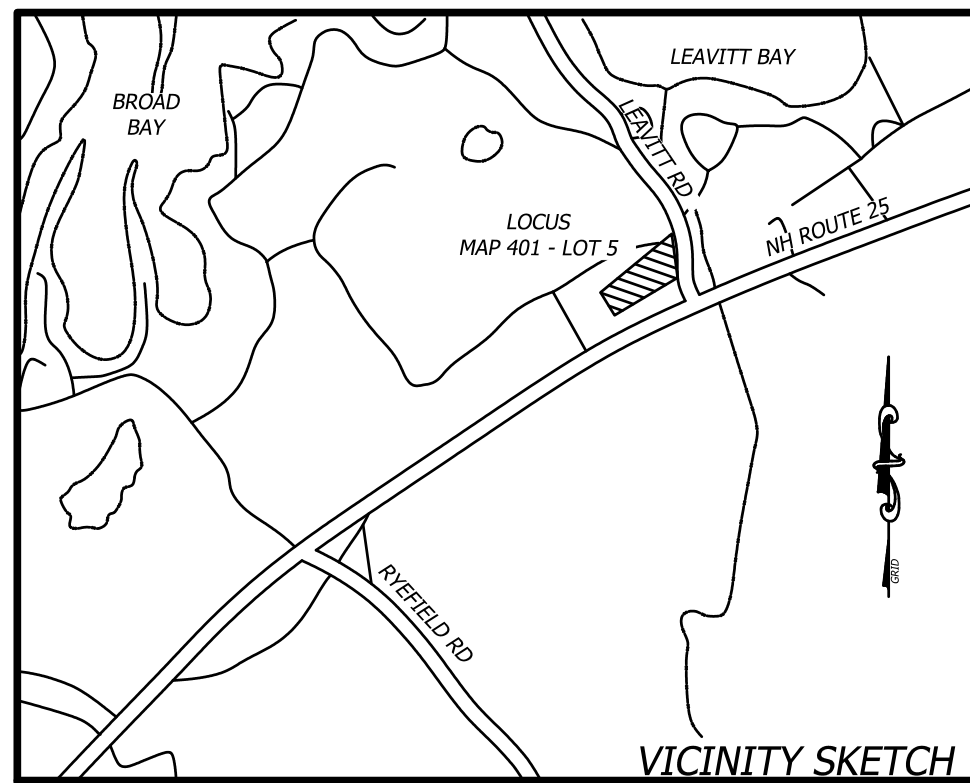
**horizons Engineering**  
NEWPORT VT • SHARON VT • LITTLETON NH • CONWAY NH  
NEW LONDON NH • NEWMARKET NH • SACO ME

**BOUNDARY SURVEY OF LANDS OF MEENA, LLC**  
PO BOX 2262  
NORTH CONWAY, NH 03860  
41 NH ROUTE 25  
EFFINGHAM, NH 03882  
TAX MAP 401 - LOT 5  
CCRD BOOK 3570 - PAGE 955

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

DATE: OCT. 2021	PROJECT #: S-21268
SURV'D BY: TWH/ DH	DRAWN BY: TWH/ WWS
CHECK'D BY: LG	ARCHIVE #: H-___

DWG NO. 21-27



**TEST PIT DATA:** BY ADAM DOIRON OF DOIRON ENVIRONMENTAL, LLC ON 6/16/2022

TEST PIT #01:	DEPTH	SOIL TYPE	DESCRIPTION
0-7"	10YR3/1	FINE SANDY LOAM, WEAK FINE GRANULAR, VERY FRIABLE	
7-18"	10YR5/3	FINE SAND, SINGLE GRAIN, LOOSE	
18-19"	10YR5/3	FINE SAND, SINGLE GRAIN, LOOSE, COMMON PROMINENT REDOXIMORPHIC CONCENTRATIONS	
19-21"	10YR2/1	MUCKY FINE SANDY LOAM, WEAK FINE GRANULAR, VERY FRIABLE, COMMON PROMINENT REDOXIMORPHIC CONCENTRATIONS	
21-24"	10YR4/1	LOAMY FINE SAND, MODERATE MEDIUM GRANULAR, VERY FRIABLE	
24-27"	10YR2/1	FINE SANDY LOAM, MODERATE MEDIUM SUB-ANGULAR BLOCKY, FRIABLE, COMMON DISTINCT REDOXIMORPHIC DEPLETIONS	
27-40"	7.5YR3/3	FINE SANDY LOAM, MODERATE MEDIUM SUB-ANGULAR BLOCK, FRIABLE, COMMON PROMINENT REDOXIMORPHIC CONCENTRATIONS, COMMON DISTINCT REDOXIMORPHIC DEPLETIONS	
40-53"	10YR4/3	FINE SAND, SINGLE GRAIN, LOOSE, COMMON PROMINENT REDOXIMORPHIC CONCENTRATIONS	
53-63"	2.5Y5/1	FINE SAND & VERY FINE SAND, MASSIVE, VERY FRIABLE	

TEST PIT #02:

0-3"	10YR2/1	FINE SANDY LOAM, WEAK FINE GRANULAR, VERY FRIABLE
3-7"	10YR5/3	LOAMY FINE SAND, WEAK FINE GRANULAR, VERY FRIABLE
7-16"	10YR4/4	FINE SAND, SINGLE GRAIN, LOOSE
16-21"	10YR5/3	FINE AND MEDIUM SAND, SINGLE GRAIN, LOOSE
21-24"	10YR2/1	COMMON PROMINENT REDOXIMORPHIC CONCENTRATIONS
24-29"	10YR4/1	HEMIC ORGANIC MATERIALS, WEAK FINE GRANULAR, VERY FRIABLE
29-31"	2.5YR2.5/1	LOAMY FINE SAND, WEAK MEDIUM GRANULAR, VERY FRIABLE
31-36"	5YR4/3	FINE SANDY LOAM, MODERATE MEDIUM SUBANGULAR BLOCKY, FRIABLE
36-44"	2.5Y5/3	FINE SANDY LOAM, MASSIVE, FIRM, COMMON PROMINENT REDOXIMORPHIC CONCENTRATIONS
44-63"	2.5Y4/3	LOAMY FINE SAND, MASSIVE, FRIABLE, COMMON PROMINENT REDOXIMORPHIC CONCENTRATIONS, COMMON DISTINCT REDOXIMORPHIC DEPLETIONS
63-75"	2.5Y5/3	FINE SAND, SINGLE GRAIN, LOOSE, COMMON PROMINENT REDOXIMORPHIC CONCENTRATIONS

TEST PIT #03:

0-2"	7.5YR2.5/1	FIBRIC ORGANIC MATERIALS, WEAK FINE GRANULAR, VERY FRIABLE
2-4"	10YR5/1	FINE SANDY LOAM, WEAK FINE GRANULAR, VERY FRIABLE
4-8"	10YR4/5	FINE SANDY LOAM, WEAK MEDIUM GRANULAR, VERY FRIABLE
8-13"	10YR5/6	LOAMY FINE SAND, WEAK MEDIUM GRANULAR, VERY FRIABLE
13-24"	2.5Y5/4	LOAMY FINE SAND, WEAK MEDIUM GRANULAR, VERY FRIABLE
24-47"	2.5Y5/3	LOAMY FINE SAND, MASSIVE, VERY FRIABLE
47-60"	2.5Y4/3	MEDIUM SAND, SINGLE GRAIN, LOOSE
60-66"	7.5YR2.5/1	COARSE SAND, SINGLE GRAIN, LOOSE, MANY REDOXIMORPHIC FEATURES CONSISTING OF EXTREMELY WEAKLY CEMENTED MASSES OF MANGANESE
66-92"	2.5Y4/3	MEDIUM AND COARSE SAND, SINGLE GRAIN, LOOSE, MANY DISTINCT REDOXIMORPHIC CONCENTRATIONS

ESHWT @ 60"  
RESTRICTIVE @ NONE  
REFUSAL @ NONE  
OBSERVED WATER TABLE @ 92"  
ROOTS TO 53"  
DEPTH OF FILL MATERIAL @ NONE

**GENERAL NOTES**

- OWNER OF RECORD  
MEENA, LLC  
41 US ROUTE 25  
EFFINGHAM, NH 03882  
BOOK 3570 PAGE 955
- DEED REFERENCES:  
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- BEARINGS SHOWN HEREON REFER TO GRID NORTH AND ARE BASED ON THE NEW HAMPSHIRE COORDINATE SYSTEM. NAD 83 AS DETERMINED BY GPS SURVEY OBSERVATIONS. ELEVATIONS ARE BASED ON NAVD83 VERTICAL DATUM.
- ALL BUILDINGS WITHIN 200' ARE RESIDENTIAL OR AGRICULTURAL AND ARE TWO STORIES OR LESS IN HEIGHT.
- LOT AREA: 103,803 SF OR 2.38 ACRES
- SUBJECT PARCEL BUILDING HEIGHTS:  
STORE: 17.5' +/-  
CANOPY: 15.3' +/-  
APARTMENTS: 14.3' +/-
- NO HYDRANTS OR PONDS IN THE AREA.
- THERE IS A 20' ELECTRICAL EASEMENT ALONG THE RIGHT OF WAY OF ROUTE 25.
- BOTH ENTRANCES ARE EXISTING AND THERE ARE NO PROPOSED CHANGES. THE ENTRANCE ON LEAVITT ROAD HAS 200' OF SIGHT DISTANCE IN THE NORTHERLY AND SOUTHERLY DIRECTIONS. THE ENTRANCE ON NH ROUTE 25 IS APPROVED. SEE NOTE 19, AND HAS A SIGHT DISTANCE IN THE EASTERLY AND WESTERLY DIRECTION IN EXCESS OF 400'.
- NRCS SOILS TYPES: 35B & 35C (CHAMPLAIN LOAMY SAND).
- NH DOT DRIVEWAY PERMIT #14116A.
- ALL PROPERTY SHOWN IS IN THE EFFINGHAM RESIDENTIAL/AGRICULTURAL DISTRICT.

**LEGEND**

---	APPROXIMATE ABUTTER LOT BOUNDARY
---	SUBJECT LOT BOUNDARY
---	EDGE OF PAVEMENT
---	EDGE OF GRAVEL
---	TREELINE
---	OVERHEAD UTILITY WIRE
---	EDGE OF JURISDICTIONAL WETLANDS
---	ELECTRICAL EASEMENT
---	EDGE OF BROOK
---	NRCS SOIL BOUNDARY
○	UTILITY POLE
○	IRON PIPE OR REBAR FOUND
□	STONE BOUND FOUND
○	TEST PIT LOCATION
○	EXISTING SITE LIGHT
○	WELL
○	BENCHMARK
---	EXISTING GRAVEL
---	EXISTING PAVEMENT

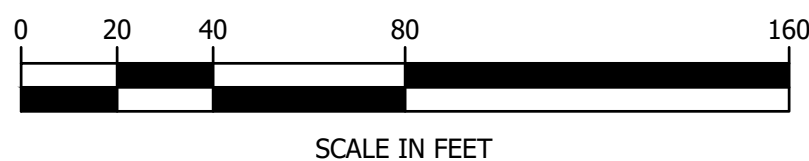
**NRCS SOIL LEGEND**

SYMBOL	NAME	HYDROLOGIC SOIL GROUP
35	CHAMPLAIN	A

INDICATES SOIL TYPE

INDICATES SLOPE OF LAND  
A = 0 TO 3 PERCENT SLOPE  
B = 3 TO 8 PERCENT SLOPE  
C = 8 TO 15 PERCENT SLOPE  
D = 15 TO 25 PERCENT SLOPE  
E = GREATER THAN 25 PERCENT

WETLAND DELINEATION NOTE:  
ADAM DOIRON, NEW HAMPSHIRE CERTIFIED WETLAND SCIENTIST #229, OF DOIRON ENVIRONMENTAL, LLC, CONDUCTED THE WETLAND DELINEATION WITHIN A PORTION OF THE 2.4-ACRE PROPERTY (EFFINGHAM TAX MAP 401, LOT 5) AND THE ADJACENT "WIDOT" RIGHT-OF-WAY ON JUNE 16, 2022. APPROXIMATELY 1 ACRE WAS ASSESSED FOR THE PRESENCE OF JURISDICTIONAL WETLANDS. THE WETLAND DELINEATION WAS PERFORMED IN ACCORDANCE WITH THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL AND REGIONAL SUPPLEMENT USING THE ROUTINE DETERMINATIONS METHOD. PLEASE SEE THE WETLAND DELINEATION REPORT LETTER DATED AUGUST 16, 2022 FOR ADDITIONAL INFORMATION ABOUT THIS WETLAND DELINEATION, INCLUDING THE PURPOSE OF THE DELINEATION, A DESCRIPTION OF THE ASSESSED AREA, THE STANDARDS USED TO IDENTIFY AND CLASSIFY WETLANDS IN THE ASSESSED AREA, CHARACTERISTICS OF THE FLAGGED WETLAND AREAS, AND A SKETCH WITH APPROXIMATE EXTENT OF AREA ASSESSED FOR WETLANDS DEPICTED.



DATE: ADAM DOIRON, C.W.S.

PO BOX 130  
CHOCORUA, NH 03817  
BOOK 3516 PAGE 222  
EFFINGHAM ASSESSORS MAP 406 LOT 75

ERIN & ARY HARTLEY  
773 GREEN MOUNTAIN RD

MICHAEL D. & LYNETTE N. KAICHEN  
52 NH ROUTE 25

PO BOX 178  
EFFINGHAM, NH 03882  
BOOK 3339 PAGE 909  
EFFINGHAM ASSESSORS MAP 401 LOT 4.1

DATE OF PRINT  
DECEMBER 20 2023  
HORIZONS ENGINEERING

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NO.	DATE	REVISION DESCRIPTION	ENG	DWG
1	9/08/22	REVISED PER PEER REVIEW	JH	WWS
2	4/13/23	REVISED PER PEER REVIEW	ML	JFH
3	12/20/23	CLARIFY LEGEND	ML	JFH

**horizons Engineering**  
Civil and Structural Engineering  
Land Surveying and Environmental Consulting  
MAINE • NEW HAMPSHIRE • VERMONT  
www.horizonsengineering.com

**EXISTING CONDITIONS PLAN**

**MEENA, LLC**

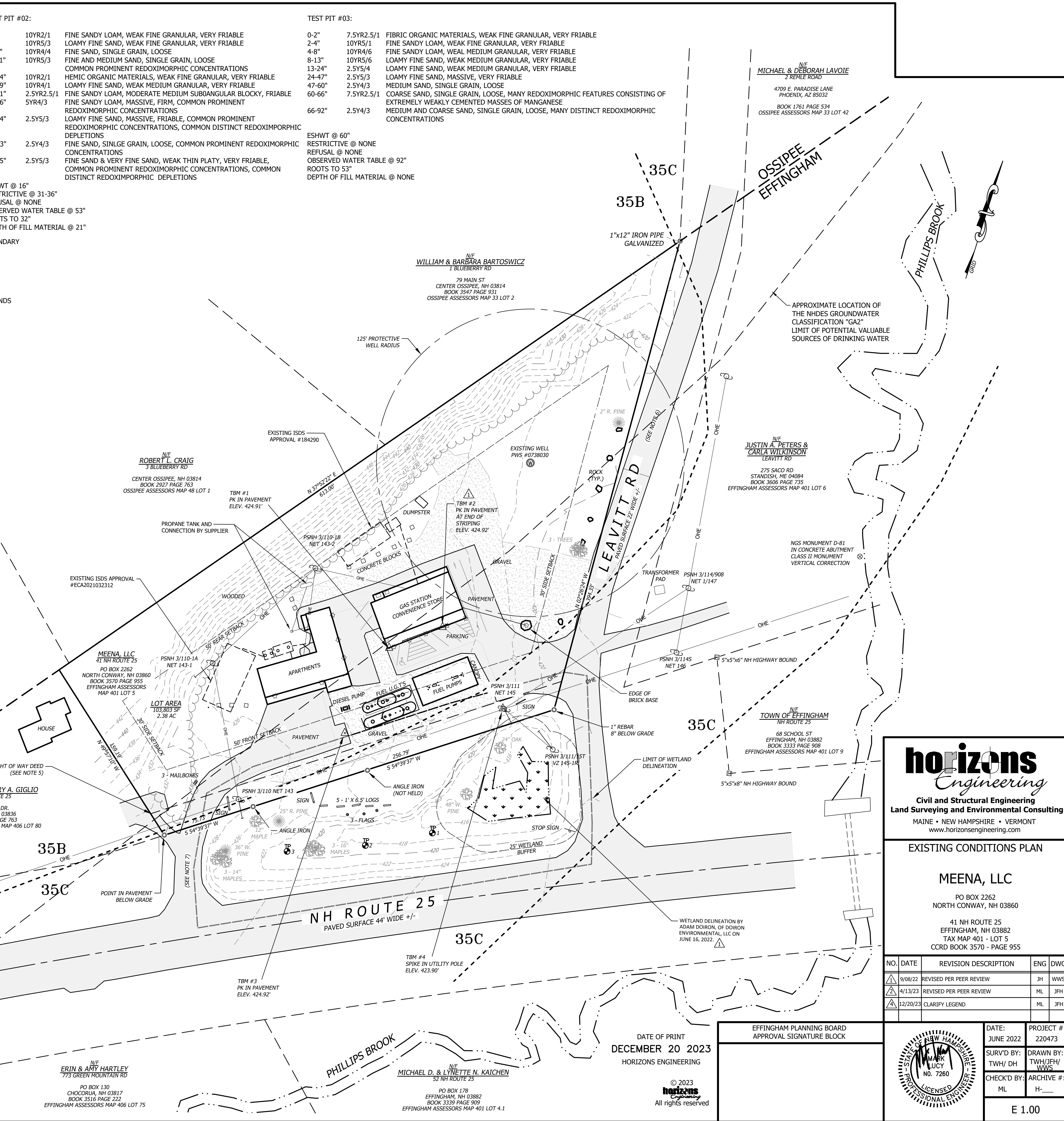
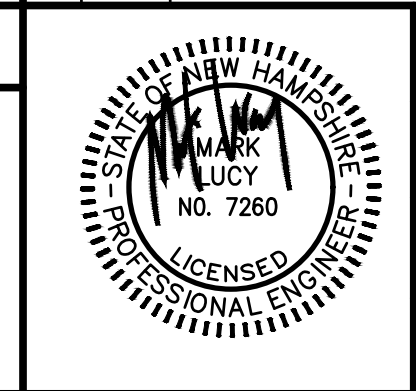
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NORTH CONWAY, NH 03860

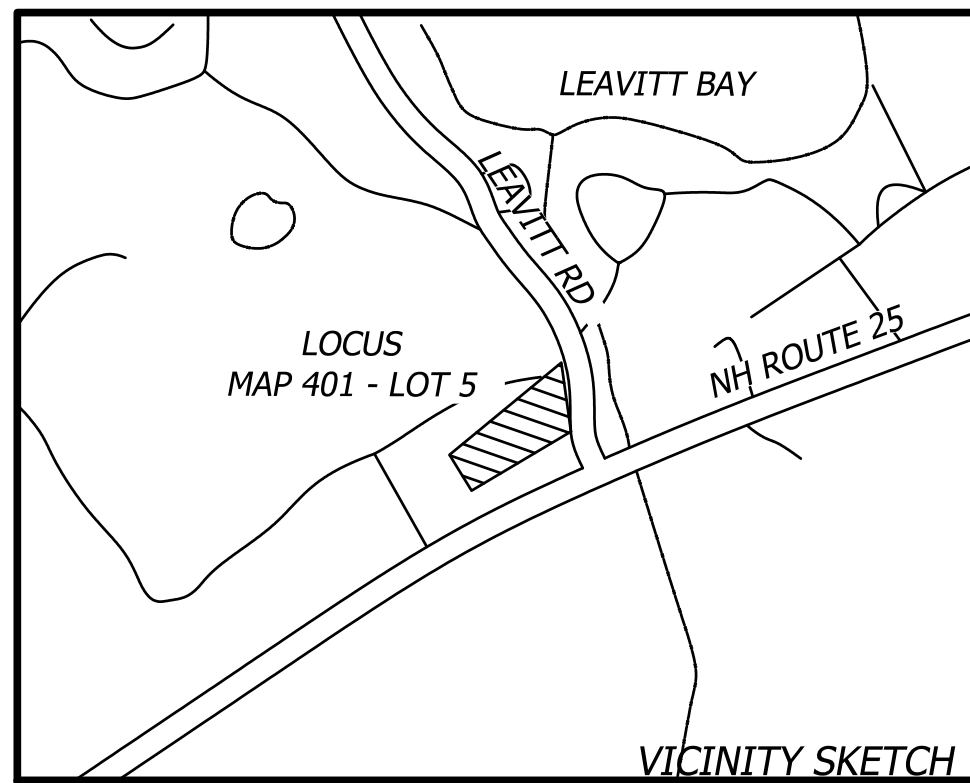
41 NH ROUTE 25  
EFFINGHAM, NH 03882  
TAX MAP 401 - LOT 5  
CCRD BOOK 3570 - PAGE 955

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
1	9/08/22	REVISED PER PEER REVIEW	JH	WWS
2	4/13/23	REVISED PER PEER REVIEW	ML	JFH
3	12/20/23	CLARIFY LEGEND	ML	JFH

EFFINGHAM PLANNING BOARD  
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DATE: JUNE 2022 PROJECT #: 220473  
SURV'D BY: TWH/DH DRAWN BY: TWH/JFH/WWS  
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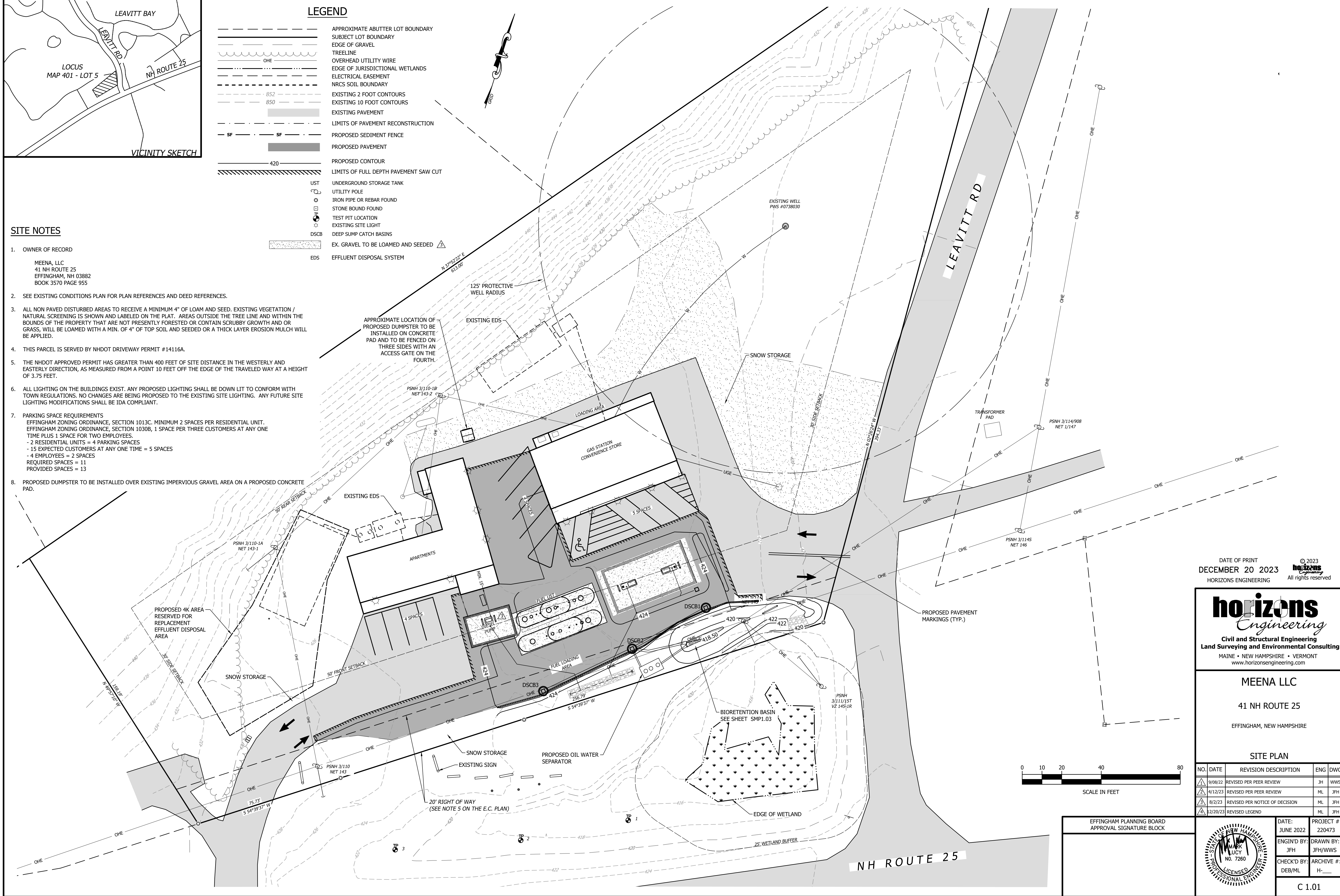


**LEGEND**

	APPROXIMATE ABUTTER LOT BOUNDARY
	SUBJECT LOT BOUNDARY
	EDGE OF GRAVEL
	TREELINE
	OVERHEAD UTILITY WIRE
	EDGE OF JURISDICTIONAL WETLANDS
	ELECTRICAL EASEMENT
	NRCS SOIL BOUNDARY
	EXISTING 2 FOOT CONTOURS
	EXISTING 10 FOOT CONTOURS
	EXISTING PAVEMENT
	LIMITS OF PAVEMENT RECONSTRUCTION
	PROPOSED SEDIMENT FENCE
	PROPOSED PAVEMENT
	PROPOSED CONTOUR
	LIMITS OF FULL DEPTH PAVEMENT SAW CUT
	UST UNDERGROUND STORAGE TANK
	UTILITY POLE
	IRON PIPE OR REBAR FOUND
	STONE BOUND FOUND
	TEST PIT LOCATION
	EXISTING SITE LIGHT
	DEEP SUMP CATCH BASINS
	EX. GRAVEL TO BE LOAMED AND SEEDED
	EDS EFFLUENT DISPOSAL SYSTEM

**SITE NOTES**

- OWNER OF RECORD  
MEENA, LLC  
41 NH ROUTE 25  
EFFINGHAM, NH 03882  
BOOK 3570 PAGE 955
- SEE EXISTING CONDITIONS PLAN FOR PLAN REFERENCES AND DEED REFERENCES.
- ALL NON PAVED DISTURBED AREAS TO RECEIVE A MINIMUM 4" OF LOAM AND SEED. EXISTING VEGETATION / NATURAL SCREENING IS SHOWN AND LABELED ON THE PLAT. AREAS OUTSIDE THE TREE LINE AND WITHIN THE BOUNDS OF THE PROPERTY THAT ARE NOT PRESENTLY FORESTED OR CONTAIN SCRUBBY GROWTH AND OR GRASS, WILL BE LOAMED WITH A MIN. OF 4" OF TOP SOIL AND SEEDED OR A THICK LAYER EROSION MULCH WILL BE APPLIED.
- THIS PARCEL IS SERVED BY NHDOT DRIVEWAY PERMIT #14116A.
- THE NHDOT APPROVED PERMIT HAS GREATER THAN 400 FEET OF SITE DISTANCE IN THE WESTERLY AND EASTERLY DIRECTION, AS MEASURED FROM A POINT 10 FEET OFF THE EDGE OF THE TRAVELED WAY AT A HEIGHT OF 3.75 FEET.
- ALL LIGHTING ON THE BUILDINGS EXIST. ANY PROPOSED LIGHTING SHALL BE DOWN LIT TO CONFORM WITH TOWN REGULATIONS. NO CHANGES ARE BEING PROPOSED TO THE EXISTING SITE LIGHTING. ANY FUTURE SITE LIGHTING MODIFICATIONS SHALL BE IDA COMPLIANT.
- PARKING SPACE REQUIREMENTS  
EFFINGHAM ZONING ORDINANCE, SECTION 1013C, MINIMUM 2 SPACES PER RESIDENTIAL UNIT.  
EFFINGHAM ZONING ORDINANCE, SECTION 1030B, 1 SPACE PER THREE CUSTOMERS AT ANY ONE TIME PLUS 1 SPACE FOR TWO EMPLOYEES.  
- 2 RESIDENTIAL UNITS = 4 PARKING SPACES  
- 15 EXPECTED CUSTOMERS AT ANY ONE TIME = 5 SPACES  
- 4 EMPLOYEES = 2 SPACES  
REQUIRED SPACES = 11  
PROVIDED SPACES = 13
- PROPOSED DUMPSTER TO BE INSTALLED OVER EXISTING IMPERVIOUS GRAVEL AREA ON A PROPOSED CONCRETE PAD.



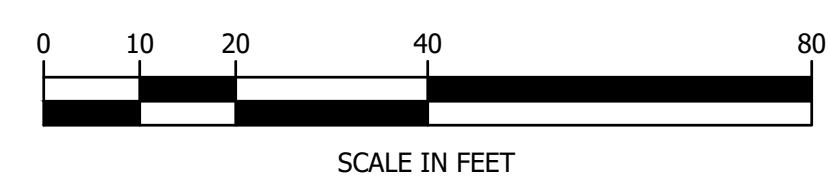
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41 NH ROUTE 25  
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**SITE PLAN**

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
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3	8/2/23	REVISED PER NOTICE OF DECISION	ML	JFH
4	2/20/23	REVISED LEGEND	ML	JFH



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UNIVERSITY OF NEW HAMPSHIRE  
LICENSED PROFESSIONAL ENGINEER  
NO. 7260

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CHECK'D BY: DEB/ML	ARCHIVE #: H-___

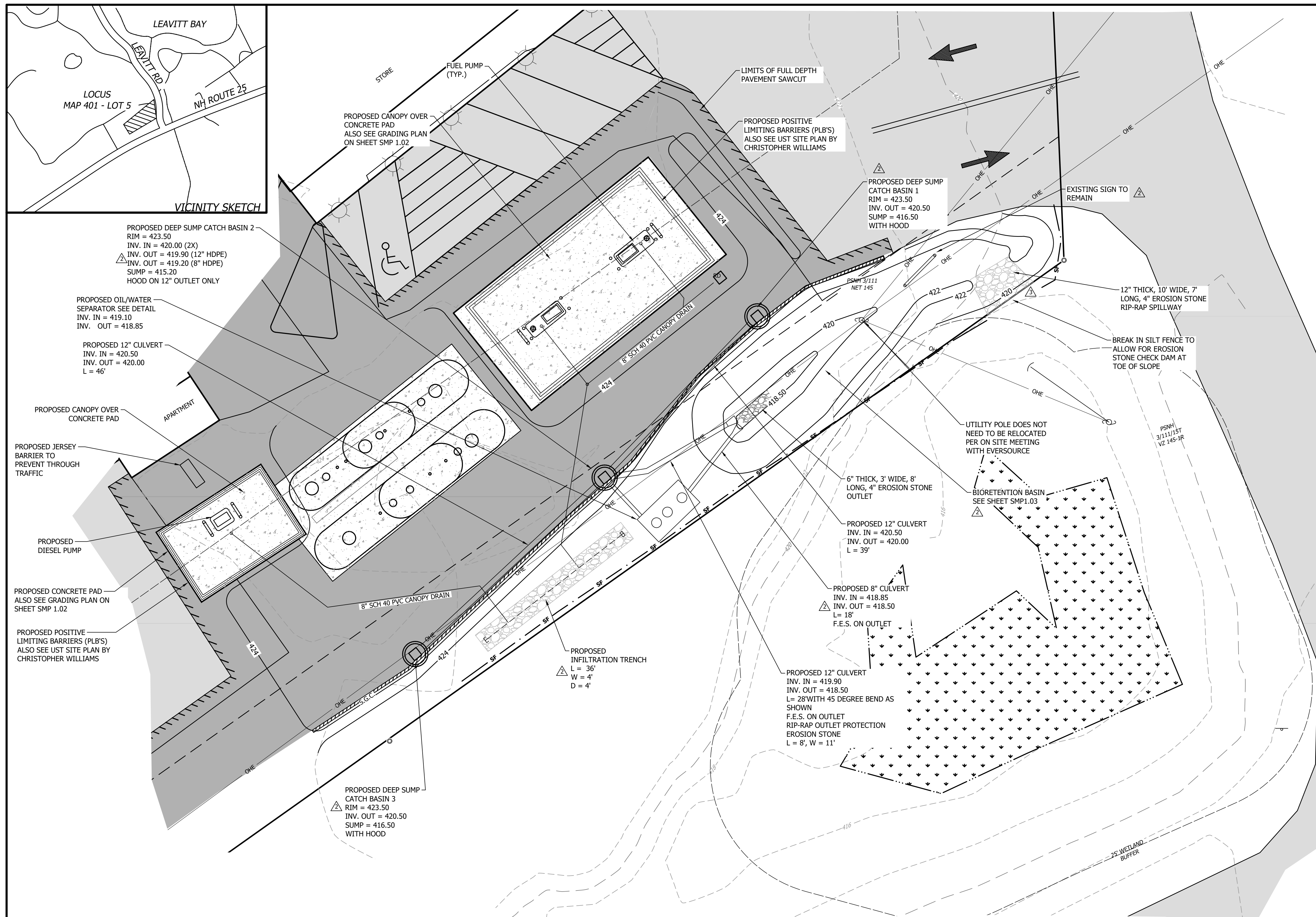
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Z:\June\_2022\220473 Meena SWM and SPCC Effingham\Internal\Civil\220473\_Civil 05.dwg, site design, 12/20/2023, 11:24 PM, JaimishRayan

# STORMWATER MANAGEMENT GUIDELINES

GENERAL EXCEPT WHERE MODIFIED HEREIN, ALL CONDITIONS, MEANS, METHODS AND MATERIALS SHALL COMPLY WITH THE NHDOT'S MOST RECENT EDITIONS OF STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION AND AS MAY BE FURTHER SPECIFIED WITHIN THE TOWN'S MOST RECENTLY ADOPTED ROAD OR STREET REGULATIONS.

- (1) CURBING  
ALL PROPOSED GRANITE CURBING SHALL BE SLOPED OR VERTICAL FACE CURBING MEETING NEW HAMPSHIRE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, HIGHWAY DESIGN MANUAL, STANDARD CR-1 PLATES 1 THROUGH 4. "BACKFILL MATERIAL" DEPICTED ON PLATE 1 SHALL BE CLASS B CONCRETE PLACED ON VEHICLE SIDE OF CURB.
- (2) PRECAST CONCRETE DRAINAGE STRUCTURES  
ALL PROPOSED DRAINAGE STRUCTURES SHALL MEET NEW HAMPSHIRE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DIVISION 600, SECTION 604.
- (3) CULVERTS AND STORM DRAINS  
ALL PROPOSED PIPING SHALL BE AS INDICATED IN PLAN VIEW:  
A. CORRUGATED EXTERIOR, SMOOTH WALL INTERIOR HDPE PIPE COMPLYING WITH AASHTO M294, TYPE 5.  
B. FLARED STEEL END SECTIONS SHALL BE GALVANIZED COMPLYING WITH AASHTO M 36/M 36 AND SHALL BE INSTALLED WHERE STONE RIPRAP OUTLET PROTECTION IS NOT USED.  
C. ALL STREET CROSS CULVERTS SHALL HAVE PRECAST CONCRETE, CAST IN PLACE CONCRETE OR MORTARED RUBBLE MASONRY HEADWALLS AT BOTH ENDS OF THE CULVERTS.
- (4) LOAMING AND LOAM AMENDMENTS  
A. ALL REMAINING DISTURBED AREAS SHALL HAVE FOUR INCHES OF LOAM INSTALLED. LOAM SHALL BE FRIABLE, FREE OF STUMPS, ROOTS AND OTHER UNSUITABLE MATERIAL AND SHALL NOT BE SPREAD WHEN WET.  
B. ALL LOAMED AREAS SHALL BE FERTILIZED AND SEEDED BY HAND, BROADCAST OR HYDROSEED, AS FOLLOWS:  
**FERTILIZER**  
C. BEYOND 100 FEET FROM ANY RIVER, STREAM, POND OR LAKE, THE FOLLOWING MAY BE USED:  
LIMESTONE AT 100 LBS PER 1000 SF      10-20-20 AT 12 LBS PER 1,000 SF  
**PERMANENT SEED MIXES**  
AREAS WITHIN ROAD ROW AND DITCHES AND SWALES: NHDOT SLOPE SEED TYPE 44 AT 80 LBS PER ACRE  
AREAS OUTSIDE OF THE ROAD WORK: NHDOT PARK SEED TYPE 15 AT 120 LBS PER ACRE  
**TEMPORARY SEED MIX**  
SPRING PLANTING (BEFORE MAY 15): OATS AT 34 LBS PER ACRE OR ANNUAL RYEGRASS AT 16 LBS. PER ACRE  
FALL PLANTING (AFTER AUGUST 15): WINTER RYE AT 45 LBS. PER ACRE OR ANNUAL RYEGRASS AT 16 LBS. PER ACRE  
D. MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING UNLESS HYDROSEEDING IS USED THAT INCLUDES A MULCH AND TACKIFIER. HYDROSEEDING NOTWITHSTANDING, MULCH SHALL CONSIST OF DRY STRAW OR SEEDLESS HAY SPREAD BY HAND OR MACHINE AND SHALL EITHER CONTAIN A TACKIFIER OR HAVE A TACKIFIER APPLIED.  
E. DRAINAGE BASINS AND CUT/FILL SLOPES STEEPER THAN 3:1 SHALL BE TREATED WITH EROSION CONTROL BLANKET PER MANUFACTURERS' SPECIFICATIONS FOLLOWING THE LOAMING AND LOAM AMENDMENTS' APPLICATION. EROSION CONTROL BLANKET SHALL BE EQUIVALENT TO GEOCOIR DEKOWE 400. THESE AREAS NEED NOT BE MULCHED.  
F. SLOPES SHOWN STEEPER THAN 2:1, IF NOT PROTECTED BY STONE RIPRAPPING, SHALL BE PROTECTED WITH JUTE EROSION CONTROL BLANKET INSTALLED PER MANUFACTURERS' SPECIFICATIONS FOLLOWING THE LOAMING AND LOAM AMENDMENTS' APPLICATION. JUTE EROSION CONTROL BLANKET SHALL BE EQUIVALENT TO GEOCOIR DEKOWE 700. THESE AREAS NEED NOT BE MULCHED.  
G. DITCHES AND SWALES' SIDESLOPES AND INVERTS, IF NOT PROTECTED BY STONE RIPRAPPING, SHALL BE PROTECTED WITH JUTE EROSION CONTROL BLANKET INSTALLED PER MANUFACTURERS' SPECIFICATIONS FOLLOWING THE LOAMING AND LOAM AMENDMENTS' APPLICATION. JUTE EROSION CONTROL BLANKET SHALL BE EQUIVALENT TO GEOCOIR DEKOWE 900. THESE AREAS NEED NOT BE MULCHED.
- (5) ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- (6) THE GAS STATION IS CONSIDERED A "HIGH LOAD AREA" AND THE FOLLOWING DESIGN METHODS ARE REQUIRED.  
1. CANOPIES OVER THE FUELING AREAS  
2. POSITIVE LIMITING BARRIERS AROUND THE FUELING ISLAND  
3. FUELING ISLANDS HIGHER THAN THE SURROUNDING PAVEMENT.

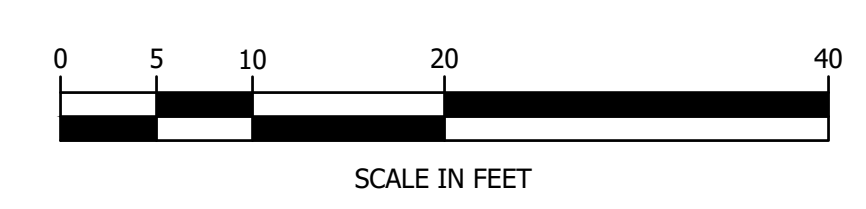


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**LEGEND**

--- 852 ---	EXISTING 2 FOOT CONTOURS
--- 850 ---	EXISTING 10 FOOT CONTOURS
----	PROPERTY LINE
----	EDGE OF WETLANDS
- SF - SF -	PROPOSED SEDIMENT FENCE
----	PROPOSED CONTOUR
RD	ROOF DRAIN CLEAN OUT
=====	PROPOSED CURB
=====	EXISTING PAVEMENT
=====	PROPOSED PAVEMENT



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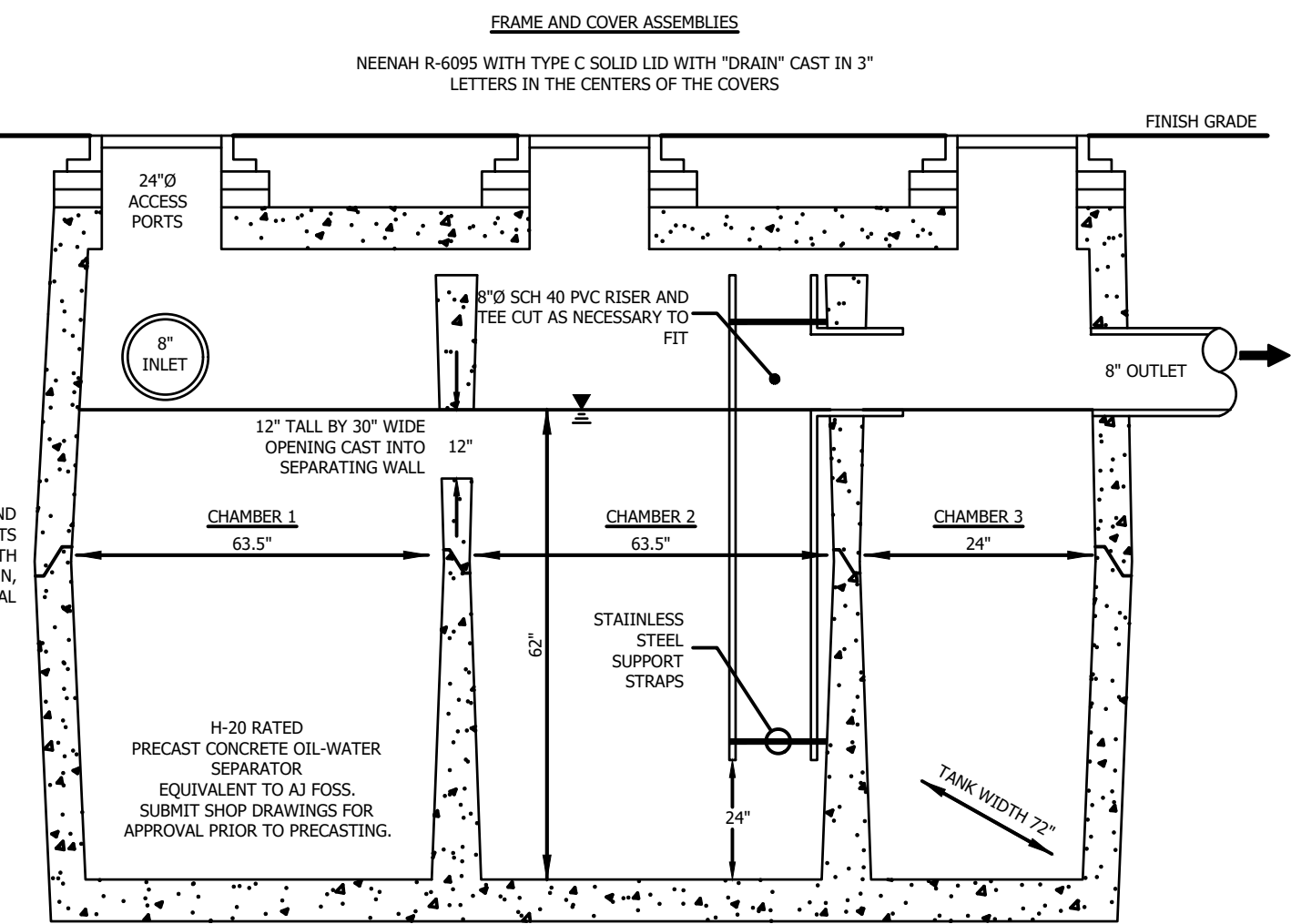
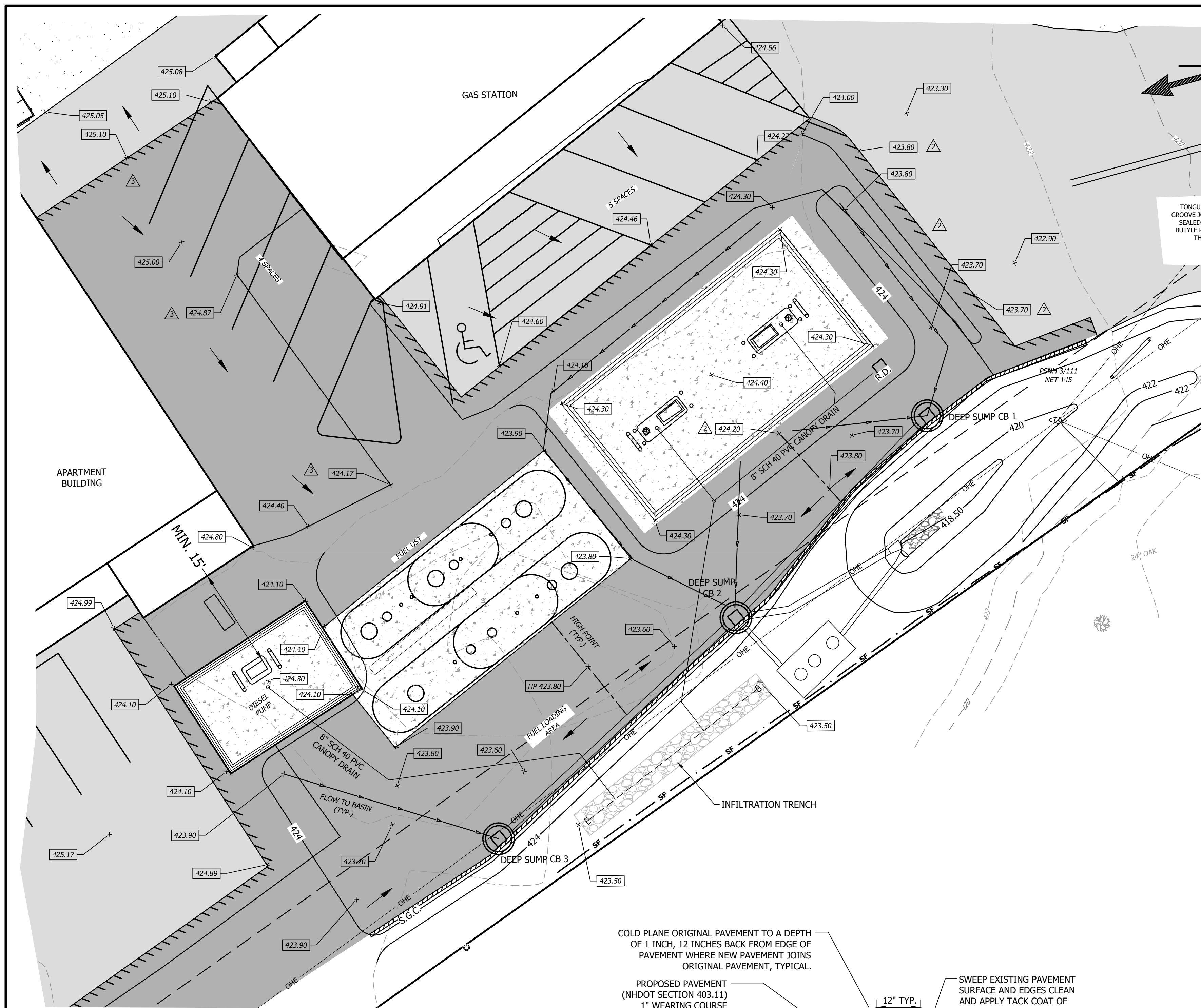
41 NH ROUTE 25  
EFFINGHAM, NEW HAMPSHIRE

STORMWATER MANAGEMENT PLAN			
NO.	DATE	REVISION DESCRIPTION	ENG DWG
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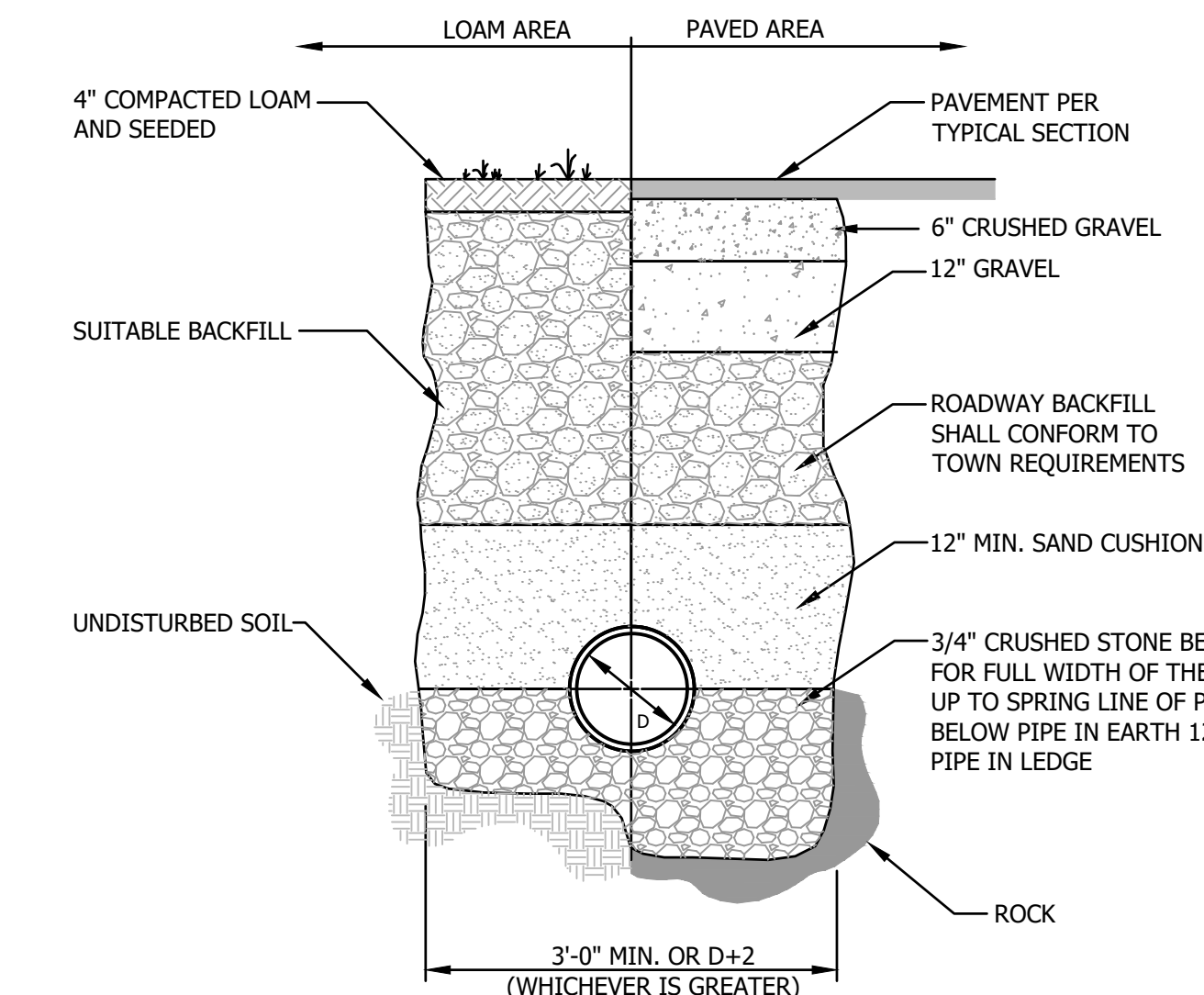
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**SMP 1.01**

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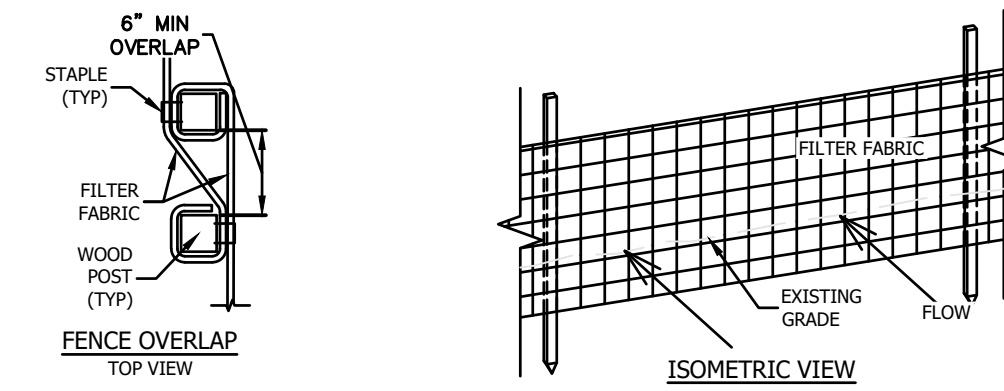


**OIL/WATER SEPARATOR DETAIL**

NO SCALE  
 TANK DIMENSIONS ARE BASED ON THE A1 FOSS 1,500 GALLON H-20 RATED TANK.  
 PER NHDES ADMINISTRATIVE RULE Env-Wq 1508.14(C):  
 THE FIRST AND SECOND CHAMBERS SHALL HAVE A MINIMUM STORAGE VOLUME OF 400 CF/ACRE  
 OF CONTRIBUTING IMPERVIOUS AREA. THIS PROPOSAL: 0.40 ACRES.  
 THEREFORE: (0.40 AC \* 400 CF/ACRES) = 160 CF (MINIMUM VOLUME REQUIRED)  
 CHAMBERS 1 AND 2 EACH CONTAIN 90 CF (180 CF TOTAL); CHAMBER 3 CONTAINS 16 CF.  
 UPSTREAM DSCB HAS OUTLETS CONFIGURED TO DIRECT RAIN EVENT "FIRST FLUSH" TO THE O/W SEPARATOR.

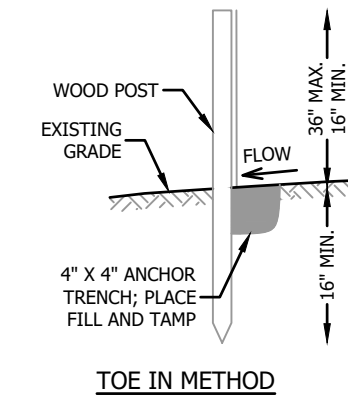


**TYPICAL STORM DRAIN TRENCH DETAIL**

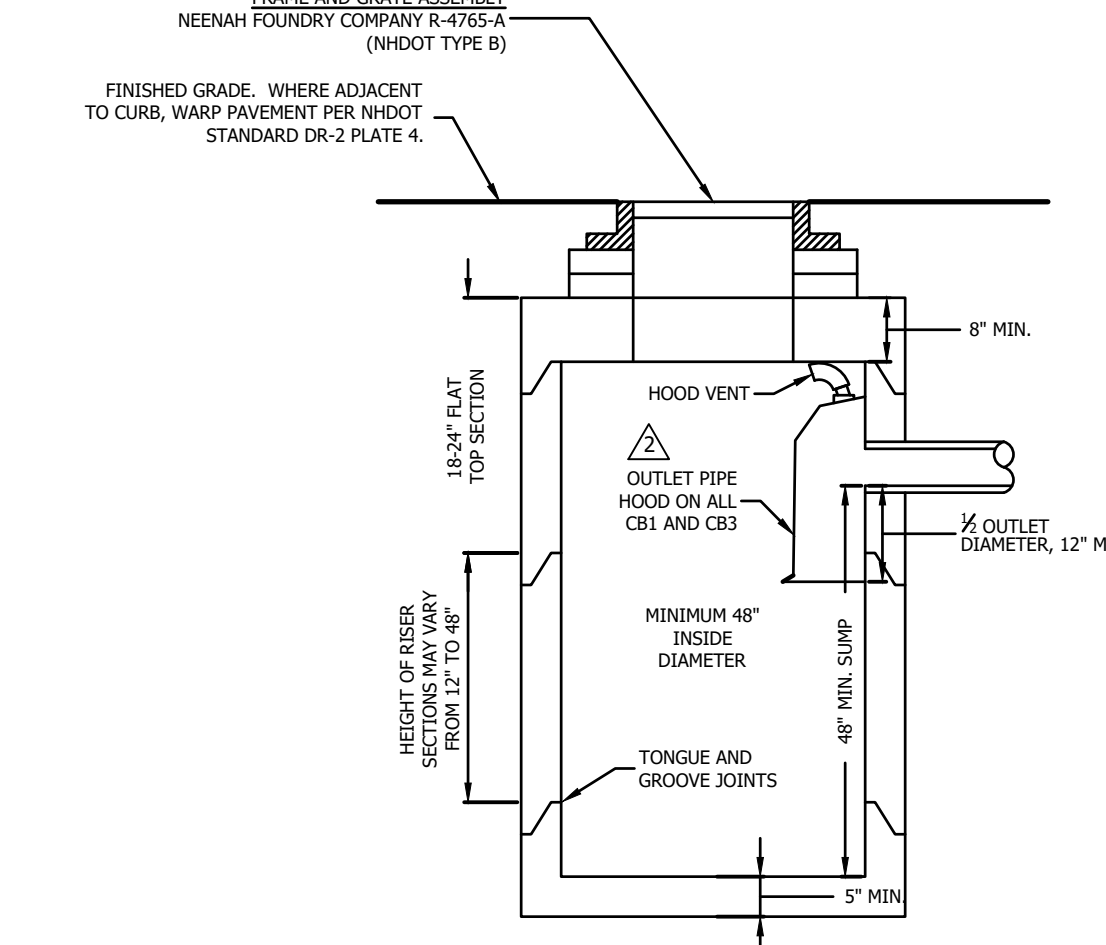


**SILT FENCE DETAIL**

- INSTALL AROUND STOCKPILED MATERIALS AND THROUGHOUT THE SITE USING BEST MANAGEMENT PRACTICES**
- A. FILTER FABRIC AND POSTS**
1. FILTER FABRIC SHALL BE A PERMEABLE SHEET OF PROPYLENE, NYLON, POLYESTER OR ETHYLENE YARN CERTIFIED TO CONTAIN ULTRAVIOLET RAY INHIBITORS/STABILIZERS WITH A MINIMUM 6 MONTHS USABLE CONSTRUCTION BETWEEN TEMPERATURES OF 0 TO 120° F.
  2. FILTER FABRIC SHALL BE PURCHASED IN A ROLL AND CUT TO THE LENGTH OF THE BARRIER.
  3. POSTS FOR SILT FENCES SHALL BE 1-1/2 INCH SQUARE HARDWOOD STAKES OR 60" LONG 1.33 LBS/FT STEEL POSTS WITH PROJECTIONS FOR FASTENING WIRE.
  4. ALTERNATIVELY, A MANUFACTURED SYSTEM WITH INTEGRAL POSTS SPACED AT 6 FEET MAX MAY BE USED WITH SUPPORT POSTS SIZED AND ANCHORED PER MANUFACTURER'S INSTRUCTIONS.
- B. INSTALLATION**
1. FENCES SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE, BLARED UPHILL WITH J-HOOKS AT THE ENDS.
  2. EXCAVATE A TRENCH A MINIMUM OF 4 INCHES WIDE AND 4 INCHES DEEP UPSLOPE OF POSTS AND BARRIER. EMBED A MINIMUM OF 8 INCHES OF FILTER FABRIC IN TRENCH AND BACKFILL OVER THE FILTER FABRIC. ALTERNATIVELY, INSTALL WITH SPECIFICALLY DESIGNED MECHANICAL EQUIPMENT.
  3. IF UNABLE TO TRENCH, ANCHOR THE BASE OF THE FABRIC WITH 3/4-INCH CRUSHED STONE, MINIMUM 8 INCHES THICK. FILTER FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE EXISTING GRADE.
  4. PLACE POSTS DOWNSLOPE OF THE FABRIC SPACED 6 FEET APART MAX. DO NOT STAPLE OR NAIL TO TREES.
  5. JOIN SECTIONS BY OVERLAPPING FABRIC (MIN 6 INCHES, 24 INCHES PREFERRED), FOLD AND STAPLE TO A SUPPORT POST. FOR METAL POSTS, WIRE-TIE FABRIC DIRECTLY TO THE POSTS WITH THREE DIAGONAL TIES.
- C. MAINTENANCE**
1. THE USEFUL LIFE OF SILT FENCE IS ONE SEASON. REPLACE PERIODICALLY AS REQUIRED TO MAINTAIN EFFECTIVENESS ON PROJECTS.
  2. INSPECT AND MAINTAIN IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
  3. AT A MINIMUM, REMOVE SEDIMENT WHEN DEPOSITION ACCUMULATES TO HALF THE HEIGHT OF THE FENCE AND REMOVE TO A LOCATION NOT UPSLOPE OF SILT FENCE.
  4. REPAIR SILT FENCE IMMEDIATELY IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION DOWNSLOPE. REPLACE WITH A TEMPORARY CHECK DAM IF UNDERCUTTING OR IMPOUNDING OF LARGE VOLUMES OF WATER OCCURS.
  5. EXTEND SILT FENCE UPHILL OR REPLACE WITH TEMPORARY DIVERSIONS OR SEDIMENT TRAPS IF THERE IS EVIDENCE OF END FLOW.
  6. REPLACE IMMEDIATELY IF DECOMPOSITION OR INEFFECTIVENESS OCCURS PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND IS STILL REQUIRED.
  7. SEDIMENT DEPOSITS TO REMAIN AFTER REMOVAL SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
  8. REMOVE SILT FENCE ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

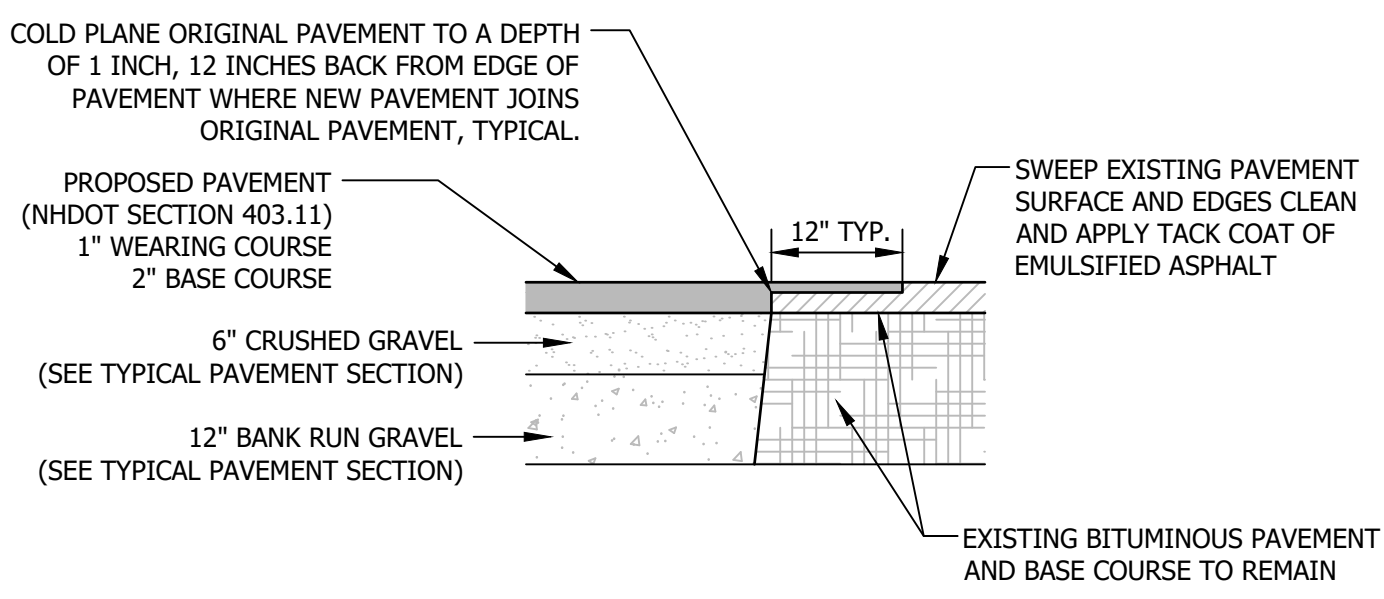


**TOE IN METHOD**



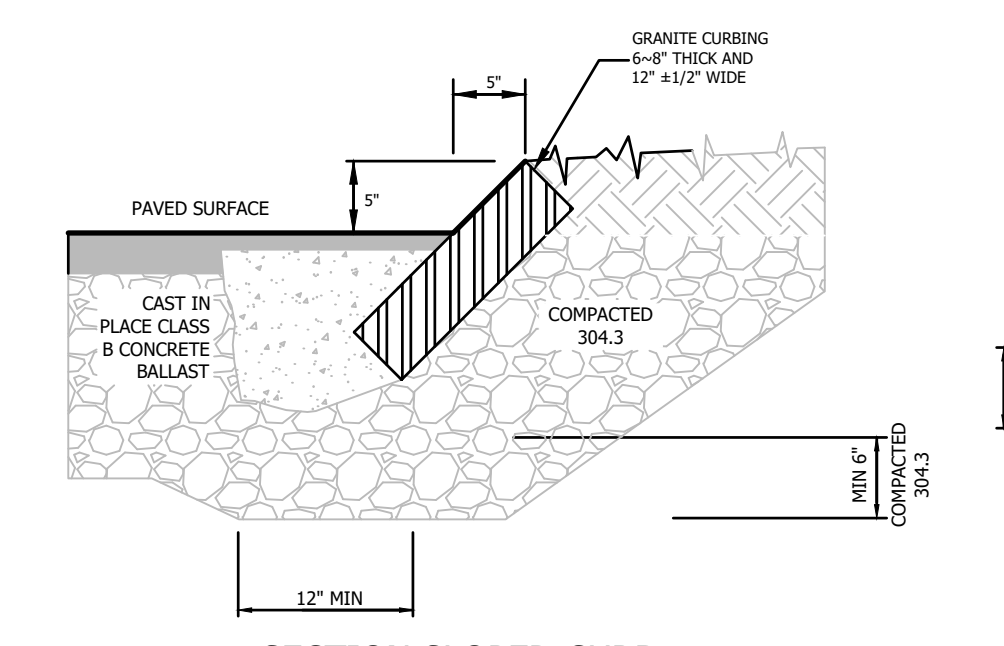
**DEEP SUMP CATCH BASIN PIPE DETAIL**

1. ALL PRECAST SECTIONS SHALL BE CONCRETE CLASS A (4000 PSI) H-20 RATED.
2. CIRCUMFERENTIAL REINFORCING SHALL BE 0.12 SQ. IN. PER LIN. FT. IN ALL SECTIONS, AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
3. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LIN. FT.
4. RISERS OF 12", 24", 36" AND 48" CAN BE USED TO REACH DESIRED ELEV.
5. WHERE THE DSCB IS PLACED ADJACENT TO CURBING USE ECCENTRIC CONE OR FLAT TOP AND GRADE PAVEMENT PER NHDOT PLATE DI-D-A, D-88D-E.
6. OUTLET HOODS EQUIVALENT TO ADS "ELIMINATOR".



**PAVEMENT JOINING DETAIL**

NOT TO SCALE

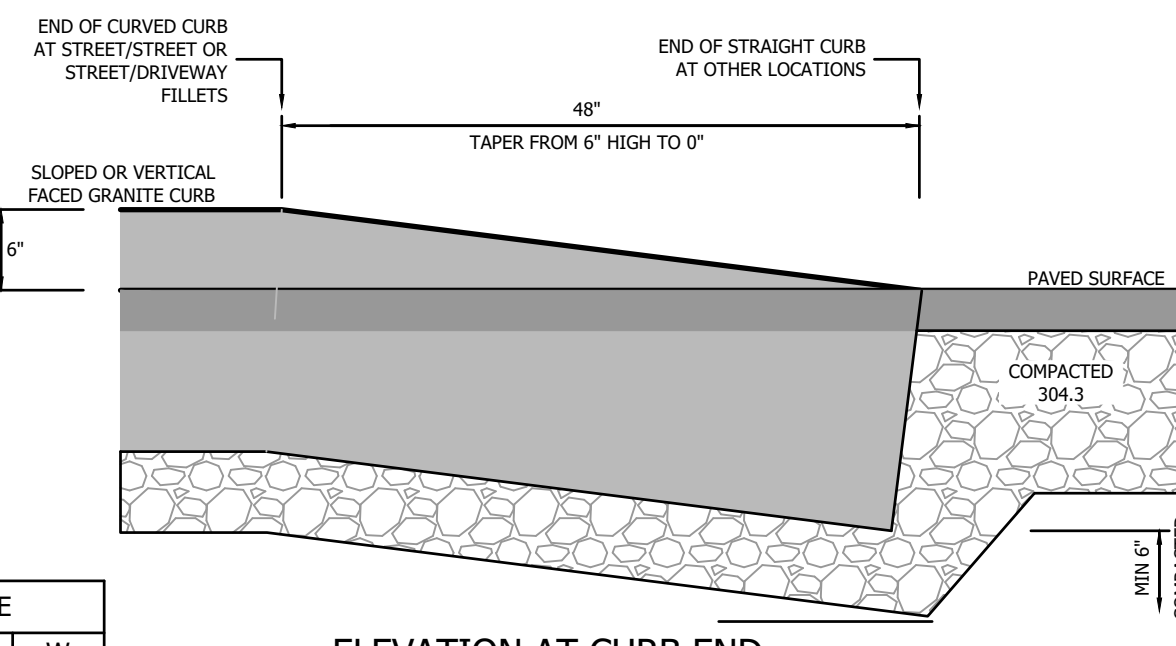


**SECTION SLOPED CURB**

NOT TO SCALE

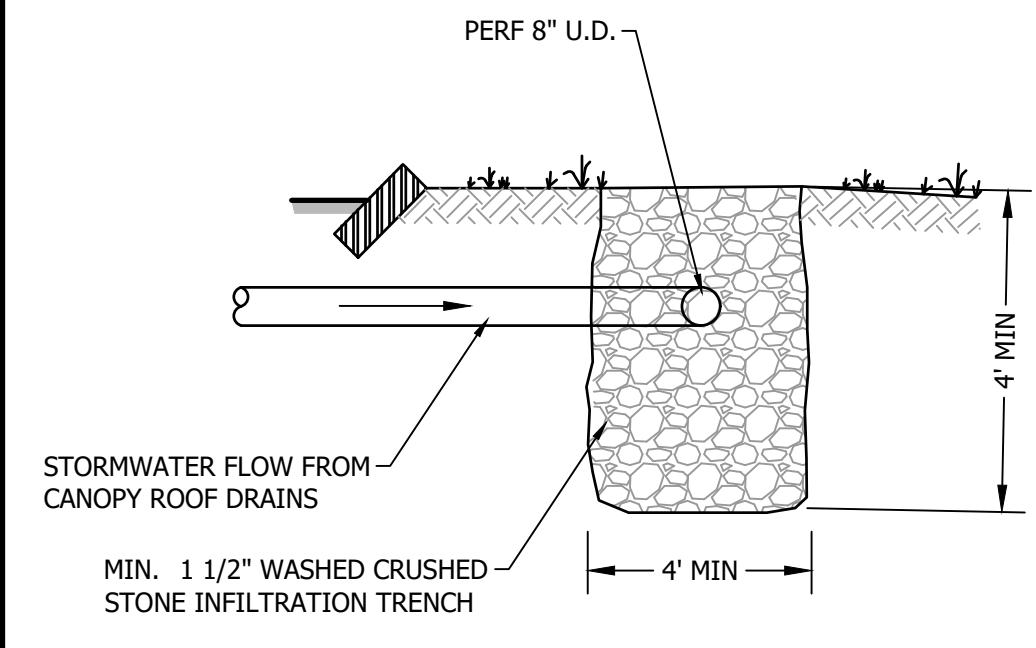
**DIMENSIONS TABLE**

PIPE DIA. (IN.)	A (IN.)	L (IN.)	W (IN.)
12	6	20	24
15	7	26	30
18	8	30	36
24	10	40	48
30	12	50	60
36	14	60	72



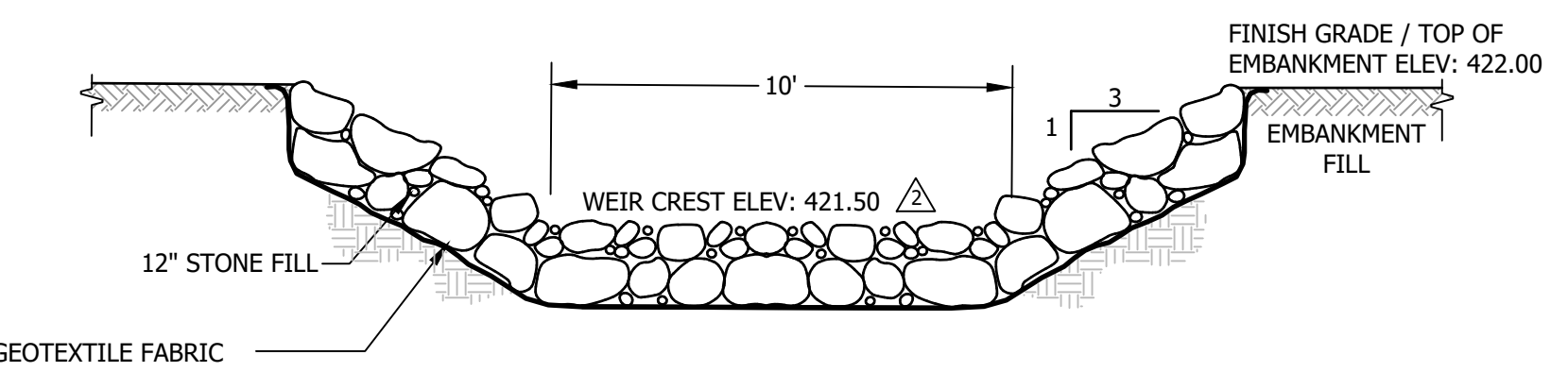
**ELEVATION AT CURB END**

NOT TO SCALE



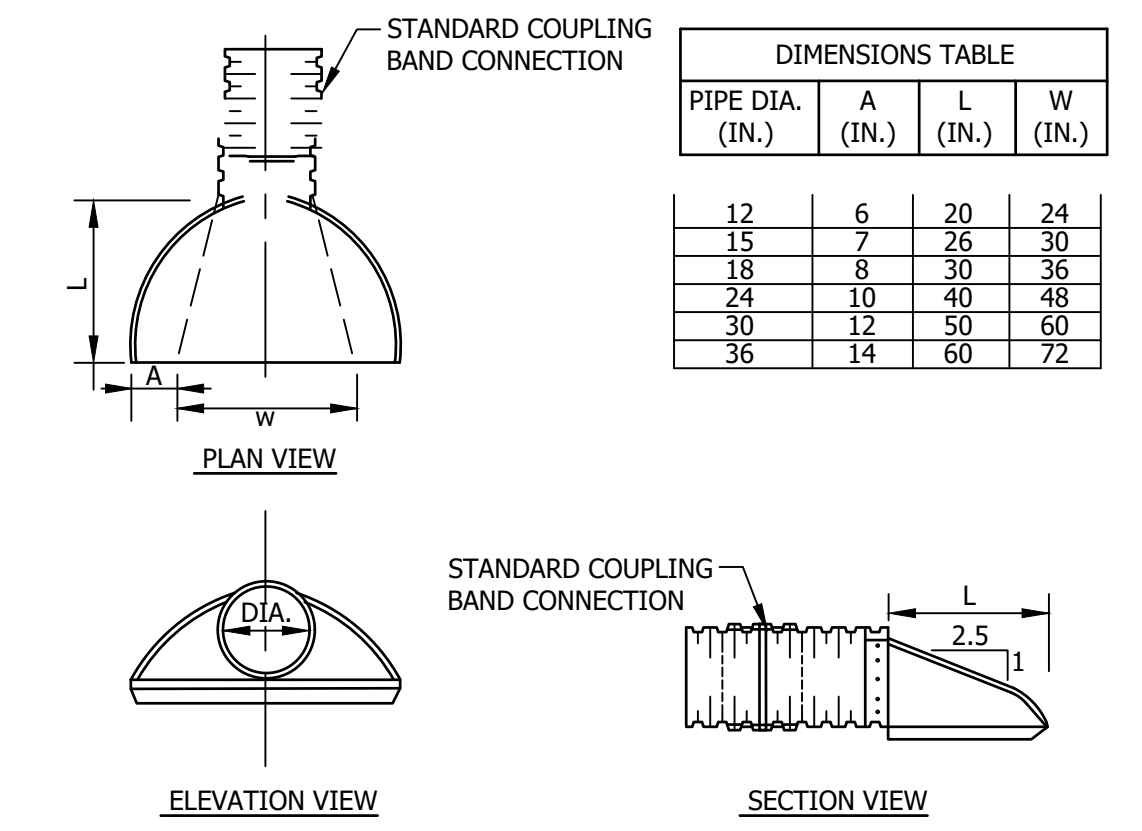
**INFILTRATION TRENCH**

NOT TO SCALE



**SPILLWAY DETAIL**

NOT TO SCALE



**FLARED END SECTION DETAIL**

NO SCALE

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2/20/23	LIMIT OF PROP. PAVEMENT CLARIFIED		ML	JFH

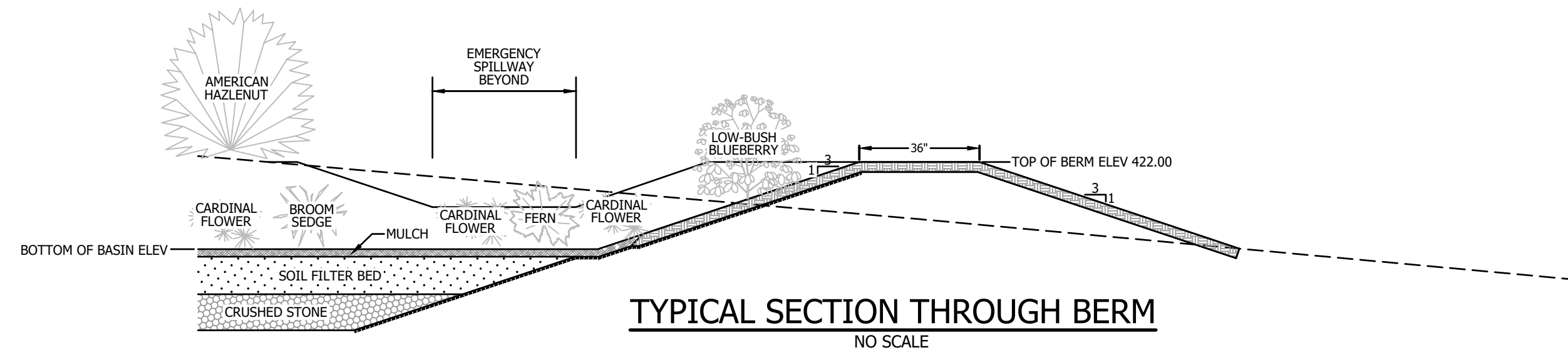
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**BARK MULCH**

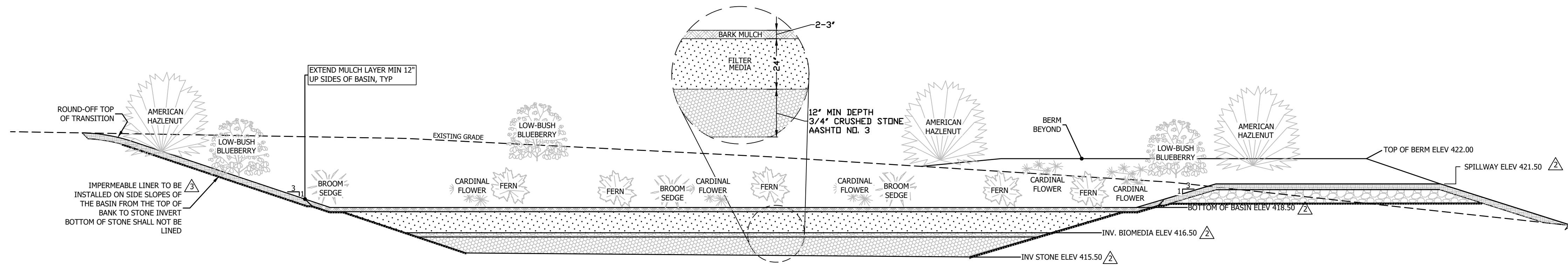
- MULCH SHALL CONSIST OF AGED, BUT NOT ROTTED, SOFTWOOD BARK.
- BARK GRADATION SHALL BE AS FOLLOWS:
 

SIZE	PASSING
1 1/2"	100
1"	95-100
1/2"	95-100
1/4"	65-85
#10	35-55
#40	10-30
#100	0-10
- WHEN TESTED FOR AVAILABLE WATER SOLUBLE BY THE EXTRACT METHOD, VALUES SHALL BE AS FOLLOWS:
 

SOIL PH	5.0 - 6.0
NITROGEN	0.2 - 0.3 %
PHOSPHORUS	0.05 - 0.15 %
POTASSIUM	0.05 - 0.2 %
SULFUR	0.05 - 0.1 %
MAGNESIUM	0.05 - 0.1 %
CALCIUM	0.3 - 0.5 %
SODIUM	0.01 - 0.02 %
IRON	0.05 - 0.2 %
MANGANESE	0.005 - 0.015 %
COPPER	0.0005 - 0.002 %
ZINC	0.001 - 0.005 %



**TYPICAL SECTION THROUGH BERM**  
NO SCALE



**TYPICAL SECTION THROUGH PONDING AREA**  
NO SCALE

PLANTINGS SHOWN ARE REPRESENTATIVE ONLY  
SEE INDIVIDUAL BIORETENTION BASIN PLAN(S) FOR PLANTINGS

**FILTER MEDIA OPTION A**

COMPONENT MATERIAL	PERCENT (%) OF MIXTURE BY VOLUME	SIEVE NO.	PERCENT PASSING (%) STANDARD SIEVE
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5

**FILTER MEDIA OPTION B**

COMPONENT MATERIAL	PERCENT (%) OF MIXTURE BY VOLUME	SIEVE NO.	PERCENT PASSING (%) STANDARD SIEVE
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
		10	85 TO 100
LOAMY COARSE SAND	70 TO 80	20	70 TO 100
		60	15 TO 40
		200	8 TO 15

**FILTER MEDIA DETAIL**

NOT TO SCALE

**INVASIVE SPECIES CONTROL (BY OWNER)**

- MONITOR ALL DISTURBED AND REVEGETATED AREAS REGULARLY FOR ESTABLISHMENT OF INVASIVE SPECIES SUCH AS PURPLE LOOSESTRIPE (LYTHRUM SALICARIA) OR COMMON REED (PHRAGMITES AUSTRALIS).
- REMOVE PURPLE LOOSESTRIPE BY HAND DIGGING AS SOON AS IT IS IDENTIFIABLE. MAKE SURE THAT ALL PIECES OF ROOT TISSUE ARE REMOVED AND DRY OUT THE PLANT MATERIAL THOROUGHLY BEFORE DISPOSAL. WHERE PERMITTED, PLANT MATERIAL SHALL BE BURNED. OTHERWISE, PLACE ALL PLANT MATERIAL IN A CLOSED BLACK PLASTIC BAG IN THE SUN FOR SEVERAL DAYS TO KILL THE PLANT AND SEEDS.
- COMMON REED CAN BE CONTROLLED BY FREQUENT CUTTING AND PULLING OF RHIZOMES DURING THE LATE GROWING SEASON.
- JAPANESE BARBERRY SHALL BE PULLED OUT AT THE EARLIEST OPPORTUNITY. IF MOST OF THE CROWN IS REMOVED, IT DOES NOT RE-GROW.
- IN ALL CASES, THE BEST METHOD OF CONTROL IS TO MAINTAIN HEALTHY GROUND COVER IN ALL AREAS TO MINIMIZE OPPORTUNITY FOR UNWANTED INVASIVE SPECIES TO GAIN A FOOTHOLD.
- WILDFLOWER/MEADOW SEED MIX SHALL NOT CONTAIN ANY INVASIVE SPECIES.

**EFFICACY DOCUMENTATION (BY INSTALLER)**

- FOLLOWING COMPLETION OF PLANTING AND REVEGETATION ACTIVITIES, MONITOR THE PROJECT AREA ON A WEEKLY BASIS FOR THE FOLLOWING FOUR WEEKS. DOCUMENT THE SUCCESS OF EFFORTS WITH PHOTOGRAPHS AND A WRITTEN DESCRIPTION OF PROGRESS AND ANY MEASURES TAKEN TO ENSURE SUCCESS.
- FOR THE REMAINDER OF THE FIRST GROWING SEASON, MONITOR AND DOCUMENT ON A MONTHLY BASIS.
- OWNER SHALL INSPECT THE AREA AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. CONTRACTOR SHALL REPAIR OR REPLACE ANY VEGETATION DAMAGED OR KILLED DURING THE WINTER SEASON.

**BIORETENTION BASIN PLANTINGS**

- TREES, SHRUBS AND GROUNDCOVERS USED IN RESTORATION EFFORTS CAN BE SUPPLIED FROM AREAS ON-SITE THAT ARE OUTSIDE OF ANY EXISTING JURISDICTIONAL WETLANDS. ADDITIONALLY, PLANTS AND SEEDS MAY ALSO BE SUPPLIED FROM APPROVED NURSERY STOCK IF ON-SITE VEGETATION IS NOT SUITABLE FOR TRANSPLANTATION.
  - TREES TO BE USED SHALL BE 2" TO 3" MINIMUM CALIPER AT 6" ABOVE THE ROOT BALL AND BE TRANSPORTED BALLED AND BURLAPPED. SUITABLE TREE SPECIES SHALL BE OF THE FOLLOWING ALTERNATIVES:
    - EASTERN RED CEDAR (JUNIPERUS VIRGINIANA)
    - SUGAR MAPLE (ACER ACCHARUM)
  - SHRUBS TO BE USED SHALL BE 24 INCH TO 36 INCH IN HEIGHT AND BE TRANSPORTED IN 2 GALLON TO 3 GALLON POTS OR BALLED AND BURLAPPED. SUITABLE SHRUB SPECIES SHALL BE OF THE FOLLOWING ALTERNATIVES:
    - AMERICAN HAZLENUT (CORYLIS AMERICANA)
    - LOWBUSH BLUEBERRY (VACCINIUM ANGSTUFIOLLIUM)
  - GROUNDCOVER TO BE USED SHALL BE IN #1 CONTAINERS OR FLATS. GROUNDCOVER TO BE PLANTED AT RANDOM, WITH A MAXIMUM CENTER-TO-CENTER SPACING OF 60". SUITABLE GROUNDCOVER SPECIES SHALL BE OF THE FOLLOWING ALTERNATIVES:
    - MAIDENHAIR FERN (ADIANTUM PEDATUM)
    - CINNAMON FERN (OSMUNDA CINNAMOMEA)
    - BROOM SEDGE (CAREX SCORPARI)
    - CARDINAL FLOWER (LOBELIA CADINALIS)
- BIORETENTION BASIN SHALL NOT BE PLACED INTO SERVICE UNTIL COMPLETELY PLANTED AND ALL CONTRIBUTING AREAS HAVE BEEN STABILIZED.
- SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (E.G., STORMWATER RUNOFF, WATER FROM EXCAVATION DE-WATERING) SHALL NOT BE ALLOWED TO DISCHARGE INTO THE BIORETENTION BASIN DURING ANY STAGE OF CONSTRUCTION.
- CONSTRUCTION EQUIPMENT SHALL NOT TRAFFIC EXPOSED SOIL SURFACES. WHEREVER PRACTICABLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE OF THE LIMITS OF THE INFILTRATION COMPONENTS OF THE BIORETENTION BASINS.

**EROSION CONTROL AND STABILIZATION**

- AS NEEDED, INSTALL HAY BALES BARRIERS OR SILT FENCE BETWEEN PLANTING AREAS. BEGIN BY PLANTING VEGETATION AT THE CENTER OF THE BASIN, THEN WORKING OUTWARD FROM THE CENTER OF THE BASIN. REDUCE IMPACT TO GROUNDCOVER BY MANEUVERING CONSTRUCTION EQUIPMENT ONLY THROUGH AREAS YET TO BE PLANTED.
- PLANT ANY DISTURBED SURROUNDING AREAS USING A WILDFLOWER/MEADOW SEED MIXTURE CONTAINING NO INVASIVE SPECIES MIXTURE, MULCHED WITH STRAW.
- INSPECT THE AREA ON A REGULAR BASIS TO ENSURE ADEQUATE WATER SUPPLY UNTIL VEGETATION IS WELL-ESTABLISHED. REPAIR ANY DISTURBED AREAS IMMEDIATELY UPON DISCOVERY.
- ONCE THE AREA IS STABILIZED AND VEGETATION IS DEMONSTRATING VIGOROUS GROWTH, CAREFULLY REMOVE HAY BALES AND/OR SILT FENCE.

**horizons Engineering**  
Civil and Structural Engineering  
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MAINE • NEW HAMPSHIRE • VERMONT  
www.horizonsengineering.com

**MEENA LLC**

41 NH ROUTE 25

EFFINGHAM, NEW HAMPSHIRE

**BIORETENTION BASIN DETAILS**

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
1	9/08/22	REVISED PER PEER REVIEW	JH	WWS
2	4/12/23	REVISED PER PEER REVIEW	ML	JFH
3	8/2/23	REVISED PER NOTICE OF DECISION	ML	JFH

DATE OF PRINT  
**DECEMBER 20 2023**  
HORIZONS ENGINEERING

EFFINGHAM PLANNING BOARD  
APPROVAL SIGNATURE BLOCK

DATE:	PROJECT #:
MAY 2022	220473
ENG'ND BY:	DRAWN BY:
JFH	JFH/WWS
CHECK'D BY:	ARCHIVE #:
DEB/ML	H-
<b>SMP 1.03</b>	

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